



VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS

DRAFT REPORT

08.14.2017

VOLUSIA COUNTY

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01

SCOPE OF WORK

01 SCOPE OF WORK

01.1 Summary

Volusia County commissioned Dewberry for the Volusia County Courts Judicial Space Analysis which consisted of three main parts: existing building assessment, space needs assessment, and concept solutions.

To determine the needs of the future judicial system, the County and the team setup consolidation opportunities for the County-wide judicial system consisting of the following:

- **REVIEW OF COUNTY-WIDE CRIMINAL JUSTICE SYSTEM**
- **UNDERSTAND CURRENT OPERATIONS OF THE JUDICIAL SYSTEM**
- **UNDERSTAND AND EVALUATE EXISTING BUILDINGS**
- **IDENTIFY EXISTING AREAS**
- **IDENTIFY FUTURE NEEDS (2035)**
- **PROVIDE SOLUTIONS TOWARDS MEETING FUTURE & CURRENT NEEDS**

Analysis Scope and Outcomes

The intent for this judicial space analysis was to determine the County-wide needs and ultimately recommend a viable concept for the future of Volusia County judicial system and related agencies.

DEPARTMENTS IN ANALYSIS

- Clerk of the Circuit Court
- Court Administration
- State Attorney
- Public Defender
- Law Library
- County Mediation Services
- Sheriff Judicial Services
- Guardian Ad Litem

SCOPE OF WORK

- General Space Assessments
- Understanding of current conditions
- Forecasting future needs
- Provide series of options towards space solutions for the Courts.

OUTCOMES

- Report detailing current conditions, future growth and solutions for moving forward

02

EXECUTIVE SUMMARY

02 EXECUTIVE SUMMARY

02.1 Summary

The Dewberry team has supported Volusia County with developing courts facility needs assessment, program, and conceptual development.

The Volusia County Courts Judicial Analysis represents an important point in the development and growth of Volusia County, and the County's commitment to serve the citizens with a level of service and safety that are in alignment with the requirements of our time.

During the programming and assessment phases, the team met with the County to tour each of the 12 court-related buildings, documenting them on an 86 point scoring evaluation, ranging from room sizes and quantities, to operational needs, to ADA requirements. The summaries of these scores can be found in section G, and detailed evaluation information in Appendix G. The judicial planning team also met with the heads of each department and judges from each division to determine their current needs and future needs to the year 2035.

In the data gathering and building basement phase, it became very clear that there were operational and physical deficiencies with the court facilities, principally on the east side of the County, in Daytona and New Smyrna Beach. The need in Daytona Beach is a departmental shortfall of 76,500 square feet beyond existing space the County currently owns. The increased growth of space from existing to 2035 takes into account three major factors. First is the current cramped conditions of undersized and overcrowded existing buildings in Daytona, results in a shortfall of space for today's need. Second is the planning for a modern court and office facility that has the appropriate size spaces, circulation and building support. Third is the projection of additional future staff, public, users and security for the next 20 years which will further exacerbate the current tight conditions.

During the course of the study, it became evident that the City Island Courthouse Annex no longer functions as a safe environment for staff or public. There is so much program packed into a small footprint and site that there is no viable way to renovate, expand or reuse the building at this location, unless it comes at a greater cost than building new, and with complicated phasing and moving of staff. Conversely, the S. James Foxman Courthouse is a predominantly modern courthouse with a great deal of land surrounding it. The building was originally planned to be expanded in the original design. This aspect makes the S. James Foxman Courthouse site the most viable and cost effective option for the County for courts expansion in the eastern side of the County.

Dewberry and the County conducted three workshops with all the courts stakeholders during the programming and concept phases. This allowed full transparency in the planning process and resulted in the best operational and economical option for the long-term success of the court system in Volusia County.

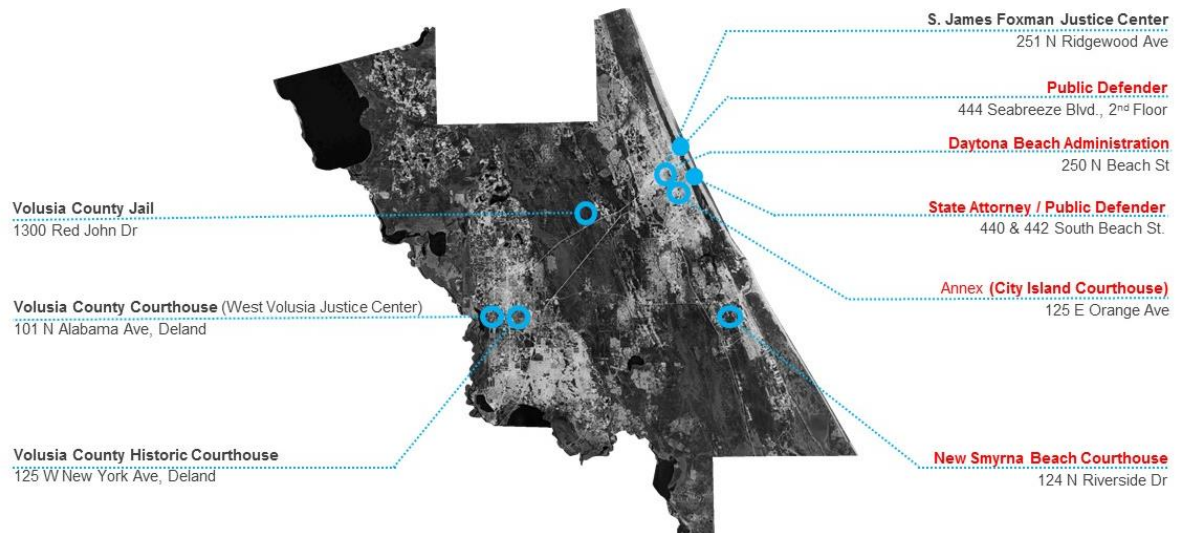
This report documents the process and solutions towards the much needed goal of providing a 'right-sized', safer, and more efficient spaces for the Volusia County court system in Daytona Beach for the next 20 years and beyond.



Christopher Getz, AIA
Project Manager / Courts Planner
Dewberry

02.2 Current County Facilities

Volusia County's current facilities includes twelve buildings in nine locations inclusive of Daytona Beach, New Smyrna Beach, the County Detention Facility and DeLand, Florida. The following map below indicates all County facilities assessed in the scope of this study.



02.3 Litigation Space Need Summary

The County has a total of 39 primary litigation spaces (42 when including the magistrate, jail courtroom, and historic courtroom). The County's total litigation space need for 2035 can be met with 39 litigation spaces, but only if the East County courtrooms are consolidated into one facility and are made right sized to meet their functional needs. Of the required 39 litigation spaces, 17 are needed in Deland and 22 are needed in Daytona Beach. The DeLand Courthouse can adequately serve the needs of the western half of the County, while significant shortcomings were identified in Daytona Beach that will need to be addressed to support the number of litigation spaces recommended in this study. Currently the majority of courtrooms and hearing rooms that are in the City Island Annex are almost all undersized, which leads to a great deal of inefficiency and complex sharing of litigation spaces. In a consolidated Daytona Courthouse, the use of courtrooms and hearing rooms will be much more flexible for change in case types and growth (similar to the efficiencies found in the Deland Courthouse). As growth in the County adds judgeships beyond 2035, a properly designed court facility in Daytona would allow the sharing of courtrooms and judicial growth over time could be addressed with simply adding additional chambers. This mirrors the operational model in DeLand which has served the County well since the construction of that facility.

DeLand					Daytona				
West Courthouse					East Courthouse				
	Existing	Peak Need	Base Bldg	Base w/ chamber expansion		Existing	Peak Need	Consolidation Option	w/ chamber expansion
Judicial Chambers (not including 1 visiting)	11	17	12	14	Judicial Chambers (not including 2 visiting)	17	26	17	19
Courtroom Type	Existing	Peak Need	Base Bldg	Base w/ chamber expansion	Courtroom Type	Existing	Peak Need	Consolidation Option	w/ chamber expansion
Large Courtrooms	1	2	1	1	Large Courtrooms	1	2	1	1
Standard Trial Courts	4	4	4	4	Standard Trial Courts	2	7	7	7
-					Small Courtrooms (Crim)	4			
-					Hearing (Criminal)	2			
Small Courtrooms (Civil)	1	1	1	1	Small Courtrooms (Civil)	3	2	2	2
Small Courtrooms (Juv)	1	2	2	2	Small Courtrooms (Juv)	2	3	2	2
Traffic Courtroom	1	1	1	1	Traffic Courtroom	2	1	1	1
Hearing Rooms (Civil)	3				Hearing Rooms (Civil)				
Hearing Rooms (Probate)	1	7	6	6	Hearing Rooms (Probate)	6	6	6	6
Hearing Rooms (Family)	2				Hearing Rooms (Family)	3	5	3	3
Total Litigation Spaces	14	17	15	15	Total Litigation Spaces	25	26	22	22
Litigation/Chamber Ratio*	1.27	1.00	1.25	1.07	Litigation/Judge Ratio*	1.47	1.00	1.29 consolidated	1.16
*Does not include Magistrates and hearing officers.									

02.4 Proposed Courthouse Building

The entire program necessary to create an appropriate modern courts building with 22 litigation spaces and associated support space is projected to be 247,041 department gross square feet (DGSF) for East Volusia County. This does not include all mechanical, electrical, restrooms, elevators, stairs, circulation and other general building elements required for a five story courts building. The increased growth of space from the current existing requirements to 2035 takes into account three major factors. First is the current conditions of undersized and overcrowded existing buildings in Daytona which results in a shortfall of space for today's need. Second is the planning for a modern court and office facility that has the appropriate size spaces, circulation and building support. Third is the projection of future staff, public, users and security for the next 20 years.

BASE PROGRAM SUMMARY – EAST VOLUSIA COUNTY

	SPACE	EXISTING 2017(DGSF)	NEW 2035(DGSF)
	1. BUILDING ENTRY AND SECURITY	4,123	8,114
	2. CLERK OF THE CIRCUIT COURT	14,873	26,107
	3. COURT SETS	35,626	67,615
	4. CHAMBERS	13,975	19,359
	5. LAW LIBRARY	1,526	2,008
	6. COURT ADMINISTRATION (CASE MANAGEMENT/SELF HELP / GENERAL MAGISTRATE/TEEN COURT)	2,442	4,853
	7. COURT ADMINISTRATION	11,628	10,302
	8. STATE ATTORNEY	27,770	35,901
	9. PUBLIC DEFENDER	13,484	20,412
	A. PUBLIC DEFENDER (APPEALS)	8,371	11,837
	10. GUARDIAN AD LITEM	3,586	6,782
	11. SHERIFF (STAFF AND HOLDING)	11,164	12,851
	G. GOVERNMENT SERVICES	21,982	20,900
	TOTAL DGSF	170,550	247,041

02.4.1 Break-Down of Program Need into three categories

The base program is broken down into the following three categories in order to confirm the full use of the existing Foxman Courthouse and allow for the potential for cost savings to separate out some new office space in a separate structure from the new courthouse.

EXISTING COURTHOUSE	NEW COURTHOUSE	NEW OFFICE
S.J. FOXMAN 3 STORIES 3 Courtrooms 2 Hearing rooms (Family) 6 Chambers (Family) Clerk of the Court (family) Law Library Case management / Self Help / General Magistrate / Teen Court Courts Administration Public Defender (Juvenile) Public Defender Appeals Guardian Ad Litem Holding (existing juvenile) 55,974 DGSF 85,722 BGSF	COURTHOUSE ADDITION 5 STORIES 11 Courtrooms 6 Hearing rooms 16 Chambers Clerk of the Court Jury Assembly Drug Court Support / pretrial / UA Court IT / Digital Court Reporting / Interpreter Services Sheriff (shared staff) Sheriff / Holding 116,221 DGSF 156,898 BGSF	OFFICE ADDITION 4 STORIES State Attorney Public Defender Other Government Agencies (~20,900 bgsf) 73,213 DGSF 83,676 BGSF
LITIGATION TYPES: FAMILY	LITIGATION TYPES: CRIMINAL / TRAFFIC / CIVIL	

02.4.2 Parking

The parking need was evaluated based on the Daytona Beach Land Development code, Article 6. – Development Standards, section 6.2 – Off-street Parking and Loading. The minimum parking requirements for a courthouse facility suggest a 3.3 parking space for every 1,000 square feet of building gross square feet (BGSF). The summary below indicates a minimum of 1,077 parking spaces required to meet the needs of the whole building.

SPACE REQUIRED BY ZONING CODE (DAYTONA)		
156,898 BGSF	NEW COURTHOUSE	518
62,776 BGSF	NEW OFFICE	207
20,900 BGSF	GOVERNMENT AGENCIES	69
85,722 BGSF	EXISTING FOXMAN BUILDING	283
* 3.3 spaces per 1,000 sf		1,077 PARKING SPACES

Three main divisions of parking spaces are described below and will be allocated based on need from the total number of parking spaces.

- Staff Secure Parking for judges in a secure/enclosed space.
- Staff Parking accommodates parking for all staff. Generally, these are open or gated areas with secure access to the courthouse.
- Public and jury parking

02.5 Workshop Process

As part of the user input, County involvement, and need for decision making progression, a series of workshops were scheduled for an inclusive and equitable process. These workshops brought forth all considerations and potential planning illustrations that represented viable opportunities for the consolidation of the court facilities. In each meeting, the team allowed for a discussion during and after the presentation. The agenda of each workshop can be seen in the syllabus below. The workshop process helped eliminate early options and narrowed down to three viable options. A preferred option was developed and presented at the Volusia County Council Meeting.

Workshop 1 – March 02nd

- Scope of the Study
- Existing Building Assessment
- Needs Assessment
- Opportunities

Workshop 2 – April 06th

- Space Needs Program
- Operational Options
- Operational Options - Selection

Workshop 3 – June 30th

- Final evaluation of Options

Volusia County Council Meeting – July 20th

- Scope Study Objective
- Preferred option

Judicial Space Analysis Draft Report – August 4th

The workshop members included one or more representatives from each department analyzed, and all were invited to participate in the discussions and final solution recommendation. Workshop members included the following:

Chief Judge, County Judges, State Attorney's Office, Public Defender's Office, Clerk of the Courts Office, JCS Probation, Court Administration, Corrections Office, Clerk IT, Sheriff's Office, Law Library, Guardian Ad Litem, Volusia County Council and Volusia County Facilities.

02.6 Goals for a New Courts Facility

The planning team and workshop members determined a set of goals that represented the important needs and priorities of a new consolidated courts facility. These goals are equally important for all options and represent the driving issues that must be addressed in the process of consolidating the courts in the eastern portion of the County. A Courts Consolidation represents an important point in Volusia County's commitment to serve the needs of the citizens at the utmost reasonable level of service. The following goals have transpired through the programming process, workshops, building and needs assessment.

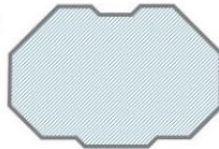
- **SECURE SEPARATION OF PUBLIC, STAFF AND IN-CUSTODY CIRCULATION**
- **COURTS CONSOLIDATION TO ONE COURTHOUSE CAMPUS**
 - All agencies within one campus
 - Single secure entry for weapons screening (efficiency of security staff)
 - Inmate delivery to one location in Daytona
- **UTILIZE EXISTING ASSETS & FUTURE GROWTH ON COUNTY PROPERTY**
- **INCREASE OPERATIONAL & ENERGY EFFICIENCY OF THE COURTS**
 - Co-location of associated court & government services
- **INCREASE LEVEL OF SERVICE TO THE PUBLIC & SIMPLY WAYFINDING**
- **CONVENIENT TO PUBLIC TRANSPORTATION**

02.7 Reuse of Existing Facilities

The County requested that the team evaluate each County courthouse facility and give recommendations as to which facilities can be reused for the consolidation of the courthouse program. As observed throughout the twelve facilities, it became apparent that only a few of the buildings supporting East Volusia County were adequate for potential renovation and reuse for courts consolidation. Many different scenarios were evaluated, the consensus to consolidate the departments in one location was necessary to optimize the efficiency of court operations and minimize the overall footprint of court operations. Through the process of this report, S. James Foxman can be seen as the most viable location for the development of the Consolidated Operational Options. Consolidating all the departments in East Volusia County would increase the operational efficiency for all departments evaluated in this study. See Section 03 for a full Existing Building Assessment Evaluation.

EAST COUNTY – EXISTING FACILITIES

S. J. FOXMAN



85,722 BGSF | 3 STORIES | 6 LITIGATION | 6 CHAMBERS

CITY ISLAND



71,241 BGSF | 3 STORIES | 16 LITIGATION | 12 CHAMBERS



440 S. BEACH ST.

7,383 BGSF | 3 STORIES | 0 LITIGATION



442 S. BEACH ST.

2,700 BGSF | 1 STORIES | 0 LITIGATION



444 SEABREEZE

13,572 BGSF | 1 LEVEL | 0 LITIGATION



NEW SMYRNA

10,255 BGSF | 1 STORY | 2 LITIGATION |
1 CHAMBER



DAYTONA BEACH ADMIN

52,970 BGSF | 1 STORY | 1 LITIGATION

02.8 Preferred Option

The preferred option was presented at the Volusia County Council meeting as the recommended viable option for the new courts consolidation. The Consolidation of the East County court functions is the best operational and long-term solution for the County, while also maintaining the existing asset of the S. James Foxman Courthouse and County owned property. The new courthouse addition is proposed to be located directly east of the S. James Foxman building with a public connector leading to the existing building on the main floor. This option suggested two optional parking garages, potentially dedicated one each to staff and public. The new courthouse creates a new civic presence on the edge of Downtown Daytona Beach facing towards the Halifax River.

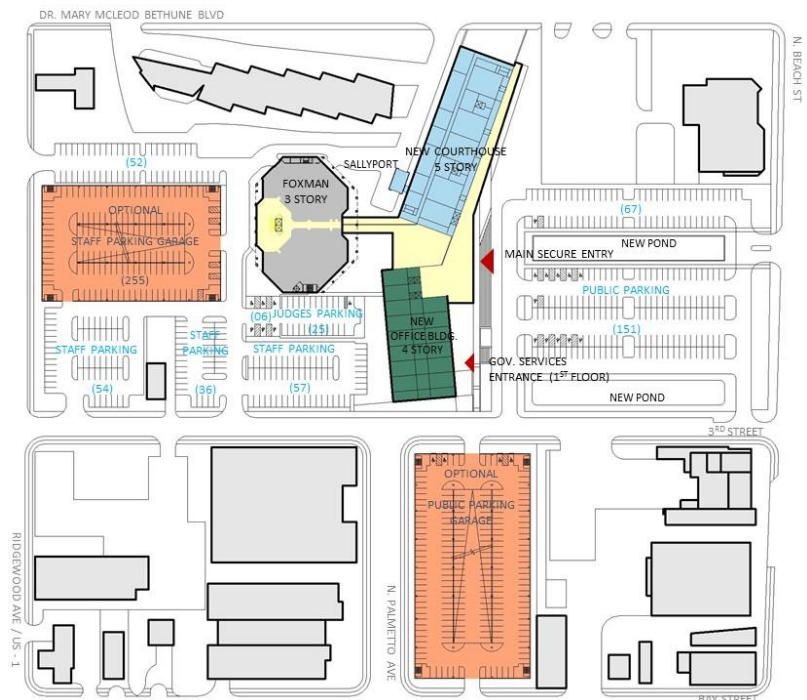
PREFERRED OPTION

NEW COURTHOUSE ADDITION 5 STORIES	S.J. FOXMAN 3 STORIES
11 Courtrooms 6 Hearing rooms 16 Chambers	3 Courtrooms 2 Hearing rooms 6 Chambers (Family)
Clerk of the Court	Clerk of the Court (family)
Jury Assembly	Law Library
Drug Court Support / pretrial / UA	Case management / Self Help / General Magistrate / Teen Court
Court IT / Digital Court Reporting / Interpreter Services	Courts Administration
Sheriff (shared staff)	Public Defender (Juvenile)
Sheriff / Holding	Public Defender Appeals
	Guardian Ad Litem
	Holding (existing juvenile)
116,221 DGSF 156,898 BGSF	55,974 DGSF 85,722 BGSF

NEW OFFICE ADDITION 4 STORIES
State Attorney
Public Defender
Other Government Agencies (~20,900 bgsf)
73,213 DGSF 83,676 BGSF

ACRES : 14.3

PARKING : 1,077



03

EXISTING BUILDING ASSESSMENT

03 EXISTING BUILDING ASSESSMENT

03.1 Volusia County Overview

Volusia County is steeped in the diverse history of the region, but also embraces the demands of a modern tourist community. The County sits midway along Florida's Atlantic Coast and borders both the ocean and the Ocala National Forest. Occupying 1,400 square miles of land, Volusia County is in the unusual situation of being part of two economic centers of activity. The County is part of a metropolitan statistical area that spans the County from Deltona to Ormond Beach. It is also part of the greater Combined Statistical Area that includes Orlando, Deltona, and Daytona Beach. A number of tourist-related activities drive the economy, including both natural features (Intracoastal Waterway, Daytona Beach, Port Orange, and Green Springs Park) and built attractions (Museum of Arts and Sciences, Daytona 500 Experience, and three speedways). Volusia County plays host to a constant stream of beach visitors in both winter and summer.

Demands on public services are typically heavy in areas with high tourism, and the Volusia County justice system is no exception. Caseload in Volusia County includes the typical caseload generated by a half-million citizens, but also includes a high volume of highway and traffic related activity. This caseload is associated with large numbers of tourists, who are drawn to the County for its wide ranging attractions and activities.

03.2 Current Court Facility Operations

The justice system is housed in a total of twelve buildings in nine locations, constructed throughout the past century, including a historic courthouse built in 1929 in DeLand; a jail constructed in 1986 in Daytona Beach; and four courthouse facilities located in the three largest cities – New Smyrna Beach Courthouse Annex (New Smyrna Beach, 1963), City Island Courthouse Annex (Daytona Beach, 1970), S. James Foxman Judicial Center (Daytona Beach, 1990), and Volusia County Courthouse (DeLand, 2001). Court administration is housed in the DeLand Courthouse and in the City Island Courthouse Annex. The Circuit Court and County Court Judges are housed in the two newest facilities in DeLand and the S. James Foxman Judicial Center in Daytona Beach, along with the Clerk of Circuit Court.

The continued use of multiple courthouse facilities in Daytona Beach is driven by a demand that has outstripped available space for at least two decades. Despite construction as recently as 2001, Court Administration is still housed in City Island Courthouse Annex and Volusia County Courthouse in DeLand, FL. New Smyrna Beach Courthouse Annex, a more recently growing population center, is still operating as a satellite location from a small-courtroom facility with inadequate chambers and dated security. The older facilities in both locations pre-date the Americans with Disabilities Act, and the designs have obvious barriers to entry for some citizens. These building issues affect wayfinding, security, and public service.

With recent and anticipated future population growth, plus the continued demands of the seasonal residents and visitors, Volusia County is seeking a view into the future of the court system that will allow for strategic, advanced planning and development of strategies to accommodate future growth, while maximizing the utility of the existing structures. This strategy will need to address any re-allocation of services so all citizens are served adequately, and maintain the efficiencies that will come from centralization in two primary locations, DeLand, FL and Daytona Beach, FL.

03.3 Building Assessment Documentation Process

To understand the current judicial courts system conditions the Dewberry assessment team toured and assessed each building related to the courts system in Volusia County. This consisted of a walkthrough of twelve buildings in nine locations. The analysis of each building was not extensive on a room by room basis but a general evaluation identifying each department and location per building. The extent of the building assessment consisted of five main following categories:

- Department Program Identification per building
- Building Assessment Evaluation Matrix
- Building Assessment Evaluation Scoring
- Litigation Space Categories
- Litigation Space Inventory Documentation

Throughout the assessment process, the team categorized and inventoried the litigation spaces based on size and function. The general assessment was done to evaluate if the litigation spaces met a series of guidelines to deem the spaces satisfactory as-is or non-satisfactory. Concurrently, the team did a general evaluation of the buildings based on three categories, Site Components, Courts/Office Functionality and Building Quality with 86 total scoring criteria within all three categories. The scoring was based on an A through F scale, with A being the highest, and F being the lowest. Each applicable criteria was scored and then arrived at an average score per each category.

The team presented the building assessment findings at Workshop 1 and explained their overall scoring and litigation space inventory for each building, with a detailed explanation of both strengths and weaknesses of each building. The walkthroughs and building assessments presented at Workshop 1 clearly indicated the County's diligence in keeping up maintenance of the court system facilities. It was clear from the general evaluations that the lower scores were a result of operational deficiencies and appropriateness of the function inherent in the design of the building's themselves.

The team concluded with expressing the findings of the building assessment survey effort, indicating the most sufficient buildings are the Volusia County Courthouse in DeLand, FL and the S. James Foxman Justice Center, in Daytona Beach. Furthermore, concluding that the Volusia County Historic Courthouse, Volusia County Jail, 440 Beach Street building, and 444 Seabreeze building as somewhat deficient. The most deficient and/or non-satisfactory buildings are City Island Courthouse Annex, two trailers at Volusia County Jail, Daytona Beach Administration, 442 Beach Street building, and New Smyrna Beach Courthouse Annex.

The buildings evaluated in this study are below, (for the purpose of this study, the remote file storage locations were documented but are not included in the building assessment evaluations):

DELAND, FL	DAYTONA BEACH, FL
VOLUSIA COUNTY COURTHOUSE 101 N. Alabama Ave, Deland, FL 4 story + basement 193,200 BGSF	VOLUSIA COUNTY JAIL 1300 Red John Drive, Daytona Beach, FL 1 Story (Arrestment Courtroom) 1,901 DGSF 1 Story (Pre-Trial) 1,104 BGSF 1 Story (Public Defender) 1,512 BGSF
VOLUSIA COUNTY HISTORIC COURTHOUSE 125 W. New York Ave, Deland, FL 3 Story + Basement 73,321 BGSF	S. JAMES FOXMAN JUSTICE CENTER 251 N Ridgewood Ave, Daytona Beach, FL 3 Story 85,722 BGSF
	CITY ISLAND COURTHOUSE ANNEX 125 E Orange Ave, Daytona Beach, FL 3 Story + Basement 71,241 BGSF
	DAYTONA BEACH ADMINISTRATION 250 N Beach Street, Daytona Beach, FL 1 Story 52,970 BGSF
	440 / 442 SOUTH BEACH STREET 440 South Beach Street, Daytona Beach, FL 3 story + Basement 7,383 BGSF 1 story 2,700 BGSF
	444 SEABREEZE (LEASE SPACE) 444 Seabreeze Blvd, Daytona Beach 2 nd Floor 8,371 DGSF
REMOTE FILE STORAGE LOCATIONS	NEW SMYRNA BEACH, FL
DEBDYN – BRANDY WINE BUILDING Deland, FL 1 story 13,000 DGSF	NEW SMYRNA BEACH COURTHOUSE ANNEX 124 N. Riverside Dr., New Smyrna Beach, FL 1 Story 10,255 BGSF
1501 BELLEVUE STREET, Daytona Beach* 1 story 1,200 DGSF State Attorney 1 story 960 DGSF Public Defender <i>* A replacement project is in the CIP, and currently design for this effort is underway</i>	

03.3.1 Volusia County Building Assessments

The table below illustrates the department programs analyzed per county courts facility.

	COURTROOMS	JUDGES	JURY ASSEMBLY	CLERK OF THE COURTS	COURT ADMINISTRATION	STATE ATTORNEY	PUBLIC DEFENDER	GUARDIAN AD LITEM	SHERIFF
Volusia County Courthouse	•	•	•	•	•	•	•		•
Volusia County Historic Courthouse	•							•	
Volusia County Jail	•				•		•		
S. James Foxman Justice Center	•	•	•	•		•	•		•
444 Seabreeze PD							•		
Daytona Beach Administration	•					•		•	•
440 & 442 South Beach SA PD						•	•		
City Island Courthouse Annex	•	•	•	•	•				•
New Smyrna Beach Courthouse Annex	•	•		•					

03.3.2 Building Assessment Evaluation Matrix

The following building assessment evaluation matrix was used to document each county court facility. The matrix table below is an example of the general evaluation of the buildings based on a scoring of 86 criteria in three main categories: Site Components, Courthouse/ Office Functionality, and Building Quality. The detailed evaluation matrix gives a comprehensive grading for each of the three building evaluation score categories which can be found in the *Appendices – B - Building Evaluation Matrix*.

Building Assessment Template Matrix										City	Facility Name
OVERALL BUILDING QUALITY											
Assessment Number	Court Component	Category	Functionality Factor	Level A Performance Rating	Level B Performance Rating	Level C Performance Rating	Level D Performance Rating	Level E Performance Rating	Level F Performance Rating	Rating	Comments
	General Building	Exterior	Exterior wall condition	Good condition, no remediation or repairs appear required		In need of some minor repairs aesthetically. Building envelope does not appear compromised		In need of serious remediation and repair, envelope penetrations and leaks observed	System failing, beyond remediation	C	
	General Building	Exterior	Exterior window / glazing system condition	Good condition, no remediation or repairs appear required		In need of some minor repairs aesthetically. Building envelope does not appear compromised		In need of serious remediation and repair, envelope penetrations and leaks observed	System failing, beyond remediation	E	
	General Building	Exterior	Roof Condition	Good condition, no remediation or repairs appear required		In need of some minor repairs aesthetically. Building envelope does not appear compromised		In need of serious remediation and repair, envelope penetrations and leaks observed	System failing, beyond remediation		
	General Building	Interior	Interior finish conditions	Good condition, no remediation or repairs appear required		In need of some minor repairs aesthetically	In need of serious remediation and repair	Possible remediation required, hazardous material likelihood is high		D	
	General Building	Interior	Restroom facilities	Good condition, no remediation or repairs appear required		In need of some minor repairs aesthetically		In need of serious remediation and repair		C	
AVERAGE SCORE										D	

03.3.3 Building Assessment Evaluation Scoring

The scoring of A through F is the result of the building assessment evaluation. Each applicable criteria was scored and then arrived at an average score per each category. A being the highest, and F being the lowest, the scoring takes into account three categories with 86 scoring criteria.

BUILDING EVALUATION

Scoring A THROUGH F

GOOD
SCORE

BAD
SCORE

Score



SITE COMPONENTS

Parking, Access, Ada, Security, Safety, Etc



COURTS FUNCTIONALITY

Adjacency, Security, Separate Separation, Waiting, General Condition, Size & Function Of Rooms, Elevators/Stairs, Ada, Restricted Access, Etc



BUILDING QUALITY

Exterior Condition, Windows, Doors, Roof, Interior Materials, Restroom Facilities, Etc

03.3.4 Litigation Space Categories

There are four types of litigation spaces required to support the operations of the Volusia County Courts. These four courtroom and hearing room types were compared to the County's existing litigation spaces to determine if each existing litigation space was deemed satisfactory or unsatisfactory; based on a series of guidelines set forth by the Dewberry team for the litigation spaces as indicated below.

- Large Trial Courtroom (1,900 sf or larger)
 - 14-person jury
 - Holding
 - Large well and additional spectator seating
- Standard Trial Courtroom (1,700 – 1,900 sf)
 - 14-person jury
 - Holding
- Small Trial Courtroom (1,500 – 1,700 sf)
 - 7-person jury
 - Holding
- Hearing Room (600 – 1,200 sf)
- Mediation Suite (*not included in count*)

03.3.5 Litigation Space Inventory Documentation

The litigation space inventory example table below reflects the documentation process used for each building evaluated. The table indicates the space type (03.3.4) per location with the number of satisfactory or non-satisfactory spaces and a final total number of litigation spaces found in each county facility deemed, satisfactory or non-satisfactory.

EXAMPLE LITIGATION SPACE INVENTORY

Space Type	Location
Large Trial Courtroom	2
Standard Trial Courtroom	3
Small Trial Courtroom	3
Hearing Room	6 [1]
TOTALS:	14 [1]

SIZE / TYPE OF LITIGATION SPACE

= NUMBER OF SATISFACTORY SPACES

[#] = NUMBER OF NON-SATISFACTORY SPACES

No Secure Private Circulation
 Inadequate or No Holding
 Accessibility Use
 Inadequate Jury Seating or Deliberation
 Inadequate Public Waiting
 Inadequate or No supporting Conference Rooms
 Other

03.4 Building Assessment per County Building

The documentation of observations, building evaluation scoring and litigation space inventory for each county facility assessed in this study can be seen on the following pages. The documentation of departments with each floor plan reflects the team's efforts to have a general knowledge of the current conditions of the Volusia County judicial system. The building assessment was not an extensive room by room but overall understanding of current department locations. Thus, the building assessment was a component used to further construct the needs assessment for the new courts consolidation program.

VOLUSIA COUNTY COURTHOUSE | DeLand, Florida

 101 N Alabama Avenue, Deland
YEAR BUILT | 2000

4 STORY + BASEMENT
193,200 BGSF
DEPARTMENTS

- COURTS & CHAMBERS
- IN-CUSTODY HOLDING
- JURY ASSEMBLY
- CLERK OF THE COURT
- COURT ADMINISTRATION
- SHERIFF
- PUBLIC DEFENDER
- STATE ATTORNEY

Introduction

The Volusia County Courthouse in DeLand, FL is the most recently built courthouse which houses county courts functions and supporting agencies. Built in the year 2000, the courthouse is a four story building with a basement level, and is generally a modern courthouse design with appropriate security. Sited on nine acres, (the typical DeLand downtown block). The Courthouse contains a grand entry plaza walkway, off-street parking and a parking garage which serves public, staff and judges. Upon entering through security, the user is received by an interior courtyard which is used to circulate to the main public elevators. The courthouse has been serving the county for more than a decade with departments that include grand jury, clerk of the court, and court administration. Observations from the walkthrough are described on the following page.

LITIGATION SPACE INVENTORY AND BUILDING ASSESSMENT EVALUATION SCORES

Space Type	DeLand
Large Trial Courtroom	2
Standard Trial Courtroom	3
Small Trial Courtroom	3
Hearing Room	6 [1]
TOTALS:	14 [1]

- A** SITE COMPONENTS
- A** COURTS FUNCTIONALITY
- A** BUILDING QUALITY

Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

VOLUSIA COUNTY COURTHOUSE | DeLand, Florida

OBSERVATIONS |

SITE COMPONENTS

- Grand promenade up to the building entry from the downtown axis.
 - Not close, but walking distance from the downtown DeLand main street.
- Semi-attached parking garage
 - Covered walkway to main entrance from parking garage.
 - Additional exterior parking lot on the east side of the building.

COURTS FUNCTIONALITY

- Security screening is a separate enclosure with a gated colonnade to either side.
 - After passing through security, the user moves into an internalized exterior courtyard.
 - Public entrances to the main elevators flank the north side of the courtyard.
 - One magnetometer was observed at the building entry security screening.
 - One magnetometer does not seem suffice for a 193,200 bgsf building.
 - There is area to add a second magnetometer.
 - Exiting is done through this same security vestibule.
 - In-custody delivery on the west side of the building rear.
 - In-custody are brought from the rear of the courtroom well.

BUILDING QUALITY

- Beautiful interior finishes, cherry wood finishes at the courtroom waiting areas and entrances.
- Good lighting overall through litigation spaces. Natural lighting in a few of the litigation spaces.
- Lots of natural daylighting from the courtyard into the interior spaces.
- Large building with no visible immediate need for upgrades.

VOLUSIA COUNTY COURTHOUSE | DeLand, Florida

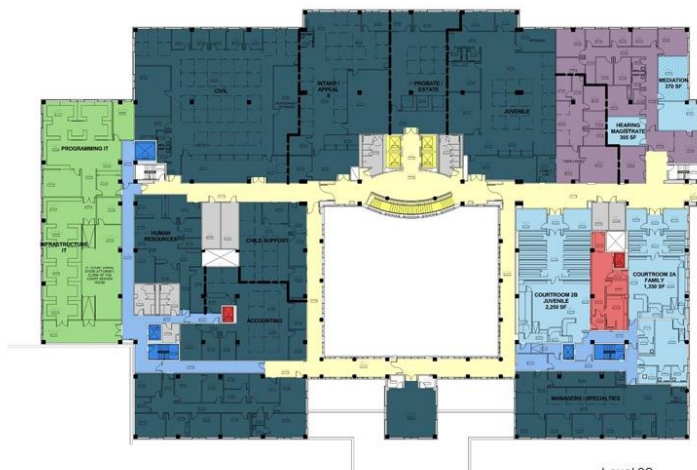
FLOOR PLANS Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan



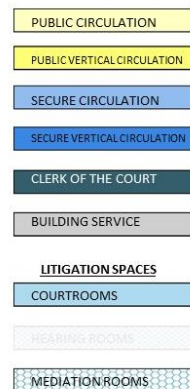
Basement



Level 01

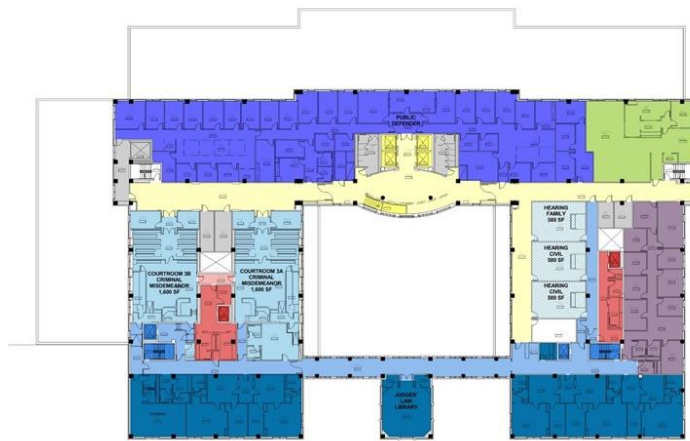


Level 02

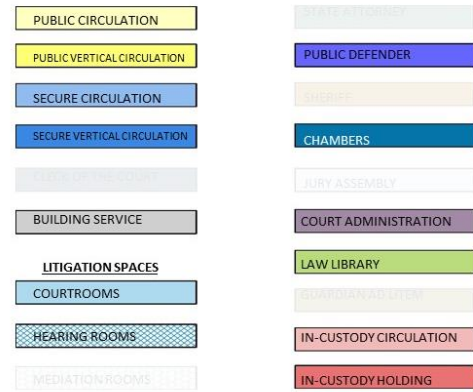


VOLUSIA COUNTY COURTHOUSE | DeLand, Florida

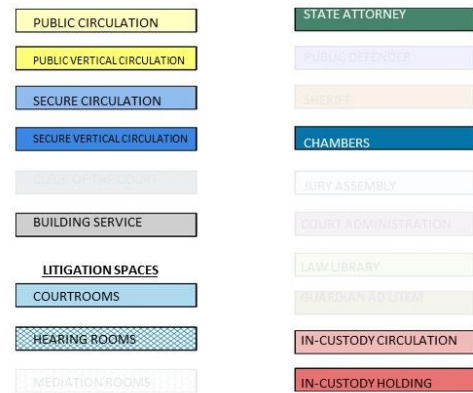
FLOOR PLANS Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan



Level 03



Level 04



VOLUSIA COUNTY HISTORIC COURTHOUSE | DeLand, Florida



125 W New York Ave, DeLand
YEAR BUILT | 1926

3 STORY + BASEMENT
73,321 BGSF

DEPARTMENTS

- COURTS & CHAMBERS
- LAW LIBRARY (ARCHIVE)
- GUARDIAN AD LITEM

Introduction

The Volusia County Historic Courthouse, built in 1925, is a landmark building and icon for DeLand and Volusia County. Surmounted by a large dome, the three story, plus basement courthouse, is reminiscent of classic courthouse architecture. Sited with close proximity to the County Administration building and the County jail the courthouse creates an inviting entry. It is no longer used as a true courthouse but continues to house a large trial courtroom which is used for special purposes only, inclusive of large complex civil cases. Other county offices are housed on the main floor which are non-related to court agencies. The main entry floor was observed and no minimal ADA compliance on the main entry floor exists due to the structure being constructed before ADA compliance standards. The exterior and interior are well maintained as indicated in the building evaluation scoring. Observations from the walkthrough are described on the following page.

LITIGATION SPACE INVENTORY AND BUILDING ASSESSMENT EVALUATION SCORES

Space Type	DeLand
Large Trial Courtroom	[1]
Standard Trial Courtroom	
Small Trial Courtroom	
Hearing Room	
TOTALS: 1	[1]*

*For limited special use only

- B** SITE COMPONENTS
- C** COURTS FUNCTIONALITY
- A** BUILDING QUALITY

Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

VOLUSIA COUNTY HISTORIC COURTHOUSE | DeLand, Florida

OBSERVATIONS |

SITE COMPONENTS

- No public parking.
 - There is a large staff-only parking lot
 - No dedicated drop off in front of building, the streets are not main/busy roads.
- No ADA accessibility at the main entrances
 - ADA ramp is on the side of the building near the staff entrance and the delivery drop-off.
 - ADA entrance comes into the building below the main floor and an elevator is needed to go up to the main level.
- Tree-covered/shaded sitting areas and walkway outside of the building to Volusia County Courthouse.

COURTS FUNCTIONALITY

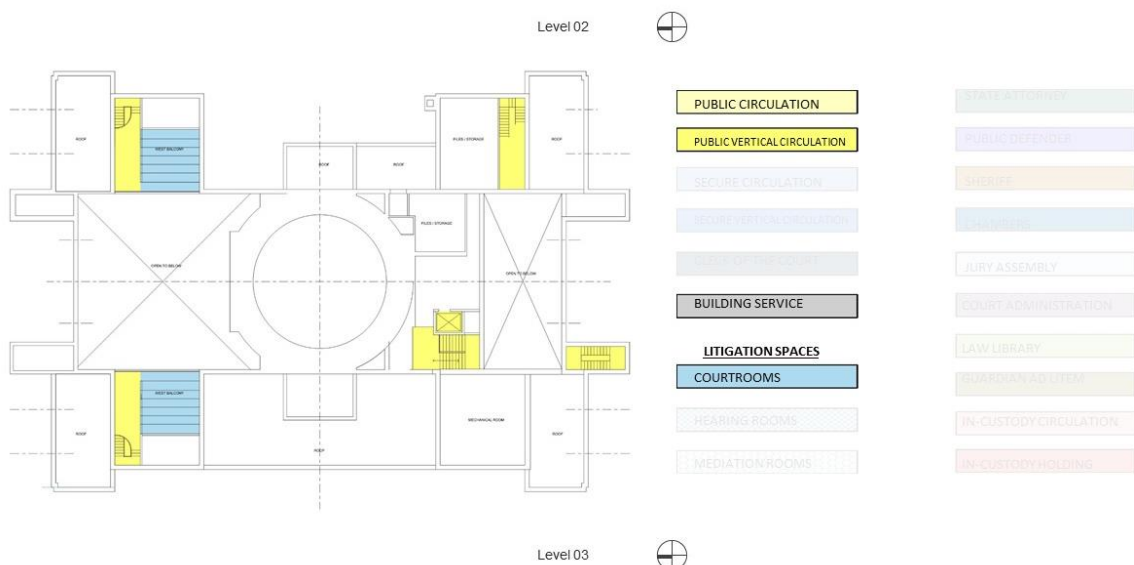
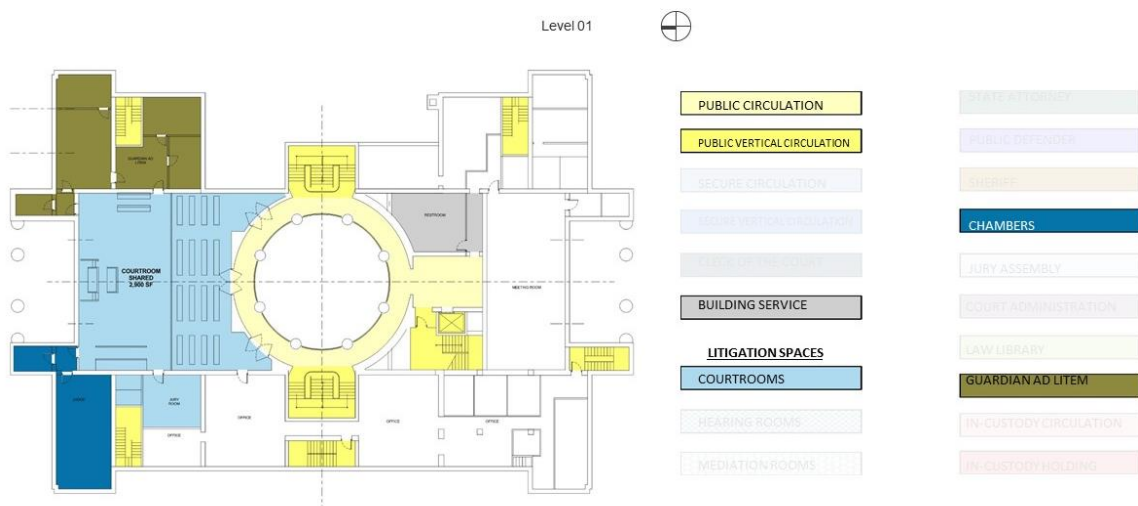
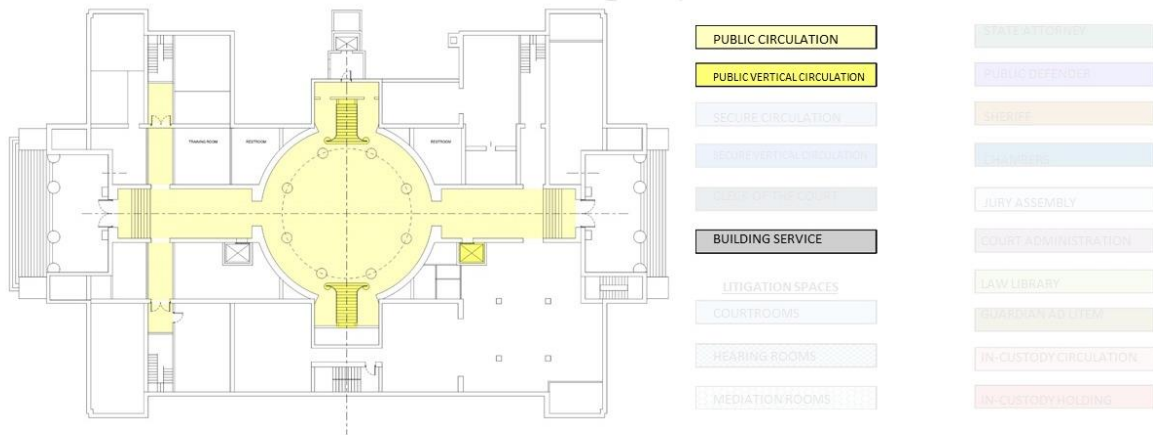
- No security on main floor, only video surveillance.
- Administration space on first floor for other county functions.
- Courtroom on the second floor only used for special use.
- No separate in-custody delivery access or judge's access.

BUILDING QUALITY

- Beautiful civic building in downtown Deland
 - Great ornate architectural details inside and out.
- Grand Rotunda in the center of the building.

VOLUSIA COUNTY HISTORIC COURTHOUSE | DeLand, Florida

FLOOR PLANS Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan



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VOLUSIA COUNTY JAIL | Daytona Beach, Florida



1300 Red John Drive, Daytona Beach
YEAR BUILT | 1983

1 STORY
1,901 DGSF

DEPARTMENTS

- COURTS
- CLERK OF THE COURT

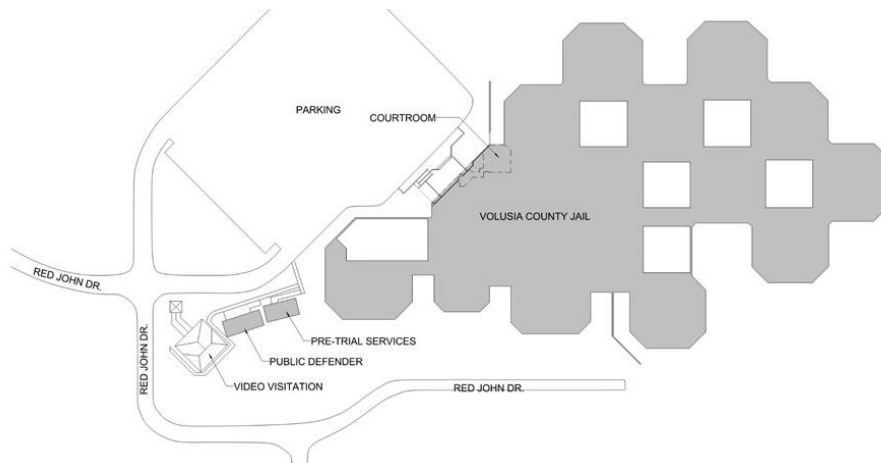
Introduction

Built in 1983, the Volusia County Jail has an all block facade and is located west of Downtown Daytona Beach on International Speedway Blvd. Within the Volusia County Jail is an arraignment courtroom. The arraignment courtroom is used for first appearances with two fulltime clerks during the week and one on the weekend. The Deland Felony office is responsible for covering all jail responsibilities. The observations from the walkthrough are described on the following page.

LITIGATION SPACE INVENTORY AND BUILDING ASSESSMENT EVALUATION SCORES

Space Type	Jail
Large Traffic Courtroom	
Standard Trial Courtroom	
Small Trial Courtroom	1
Hearing Room	
TOTALS: 1	1

- B** SITE COMPONENTS
- B** COURTS FUNCTIONALITY
- B** BUILDING QUALITY



Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

VOLUSIA COUNTY JAIL | Daytona Beach, Florida

OBSERVATIONS |

SITE COMPONENTS

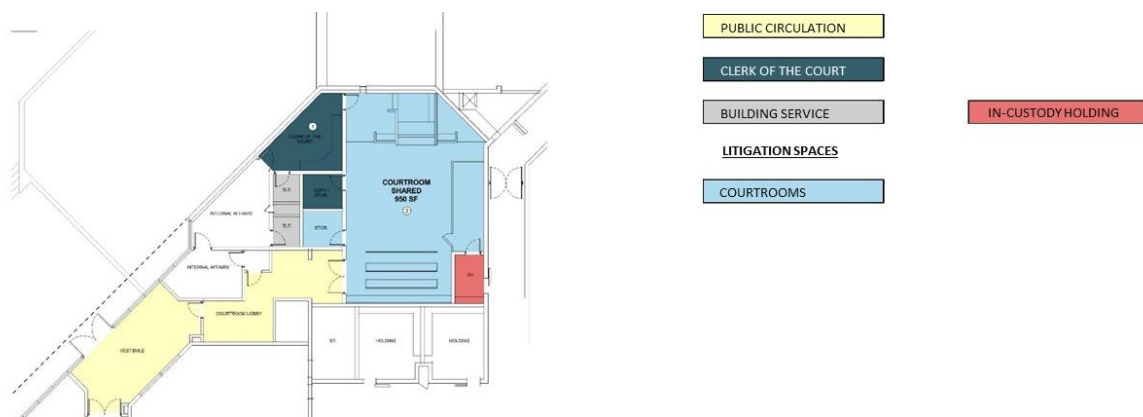
- Parking is perceived adequate.
 - Parking lot was at 75% capacity but there were not many people inside the public areas.
- ADA accessible entry and drop off.

COURTS FUNCTIONALITY

- Entrance and information area is well lit with natural lighting.
 - Seems to have been renovated.
 - New Ceilings, floors, furniture, painting.
 - Information counter has good visibility of waiting area and secure corridor encased in security glass.
- Entry vestibule, a door to the courtroom on the left, and the information/waiting area on the right.

BUILDING QUALITY

- Exterior
 - All brick façade.
 - Some glass storefront at the entry and waiting area.
- Waiting area seems small, but there is some uncovered seating outside the main entry.
- 8-9' ACT ceilings.
- There is a Visitor's Center building at the front of the parking lot, adjacent to the prison walls.
 - Entry drop-off from main road.
 - ADA accessible.



Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan

VOLUSIA COUNTY JAIL | Daytona Beach, Florida



1300 Red John Drive, Daytona Beach

1 STORY (2 TRAILER FACILITIES)
2,616 BGSF

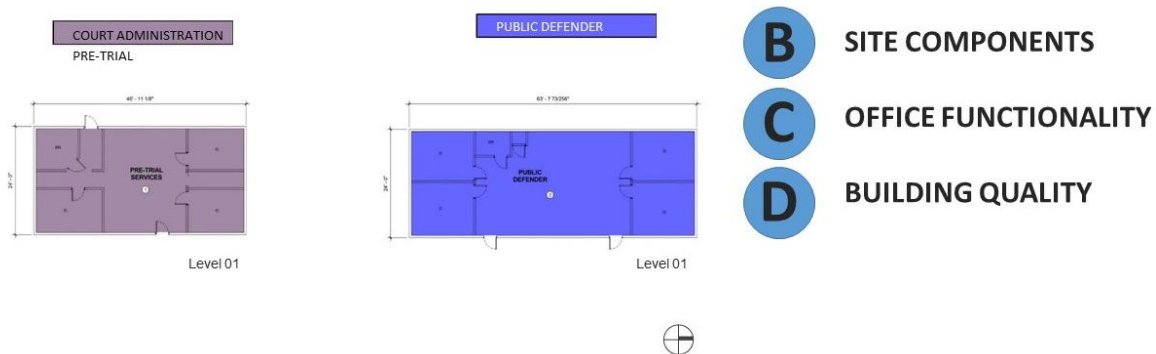
DEPARTMENTS

- COURT ADMINISTRATION - PRETRIAL SERVICES
- PUBLIC DEFENDER

Introduction

Two, one story trailer facilities are sited along Red John Drive, entering the Volusia County Jail site. One trailer houses Courts Administration Pre-Trial and the other Public Defender. Pre-Trial services usually has seven alternating staff, seven days a week. The trailer space consist of an open office area with workstations, a supervisor's office, and small break area with shared restrooms. The Public Defender trailer consists of four offices with one large open work area. The observations on the following page explain some of the deficiencies of the trailer facilities.

LITIGATION SPACE INVENTORY AND BUILDING ASSESSMENT EVALUATION SCORES



Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

OBSERVATIONS |

SITE COMPONENTS

- Located in temporary trailer facilities near the east entry of the jail.
- Bus station directly in front of trailers.
- ADA accessible.

OFFICE FUNCTIONALITY

- Open area in Public Defender Trailer.
- Very simple plan due to building being a temporary trailer structure.

BUILDING QUALITY

- Minimal natural light within space.
- All interior spaces have standard trailer materials, which are sub-standard for a new building.

S. JAMES FOXMAN | Daytona Beach, Florida



3 STORY
85,722 BGSF

DEPARTMENTS

- COURTS & CHAMBERS
- IN-CUSTODY HOLDING
- JURY ASSEMBLY
- OFFICES
- CLERK OF THE COURT
- STATE ATTORNEY
- PUBLIC DEFENDER
- SHERIFF

Introduction

S. James Foxman Justice Center is one of the most recently built courthouses which houses the county courts functions and supporting agencies. Located along Ridgewood Ave / US-1 and 3rd street, the building is sited next to the main Daytona Beach Bus Station. The County Administration building is located one block east of the building. Due to its distinctive octagonal shape, the building entry is obscured, with a fabric canopy to indicate the building entry. The 5.5 acre site has off-street parking which quickly fills up, additional off-street parking in the surrounding county owned lots are also used. The building has a dedicated drive through sallyport and gated judges parking. Currently, the building only handles felony (circuit) criminal cases and clerk records which are not fully electronic but are moving towards e-files. Other than litigation spaces the building also houses court agencies, Clerk of the Court, Public Defender, State Attorney. The observations from the walkthrough are described on the following page.

LITIGATION SPACE INVENTORY AND BUILDING ASSESSMENT EVALUATION SCORES

Space Type	Daytona Beach
Large Trial Courtroom	1
Standard Trial Courtroom	3
Small Trial Courtroom	
Hearing Room	2
TOTALS: 6	6

- A** SITE COMPONENTS
- B** COURTS FUNCTIONALITY
- A** BUILDING QUALITY

Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

S. JAMES FOXMAN | Daytona Beach, Florida OBSERVATIONS |

SITE COMPONENTS

- The paved parking lot did not seem adequate. Overflow parking in the neighboring grass lot.
- There is a parking garage across the street, but not a county facility.
- No direct connection to the courthouse from the county parking to the southeast.
- There is a gated parking lot for judges
- There is a dedicated sallyport/inmate delivery on the north of the building.
- ADA accessible entry
- Public Bus Station is located adjacent to the building on the North.

COURTS FUNCTIONALITY

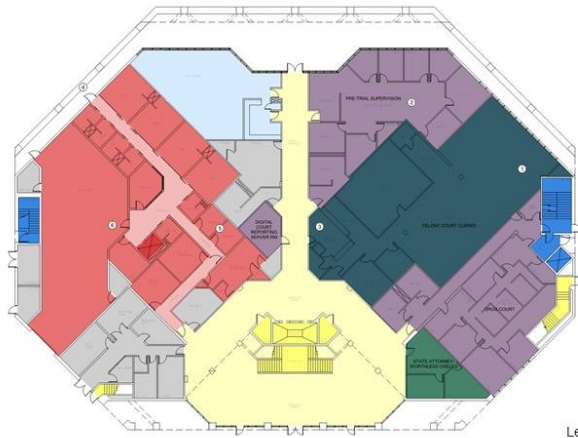
- Security screening is very small for a building of this size.
- Tight space between vestibule and x-ray machine.
- Inadequate area for interior queuing line.
- A need for an entry addition would expand the queuing area.
- In-custody transfer within a mezzanine corridor limits use and access for in-custody delivery to south-side courtrooms.

BUILDING QUALITY

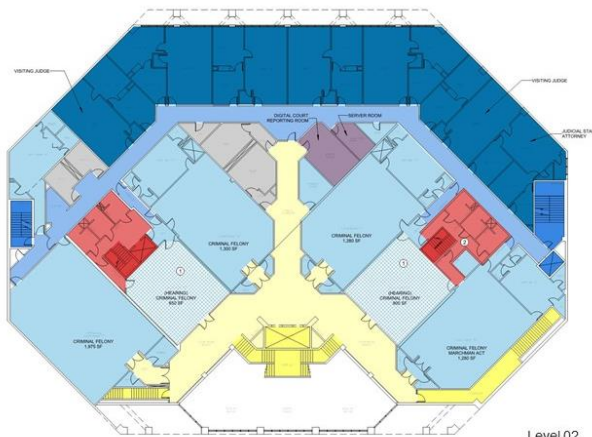
- Double height, 2-story lobby area. Second floor open to the lobby area.
- Nice entry lobby with lots of nice wood, stone, marble finishes. Up-to-date.
- It appears that some interior litigation spaces have had some interior upgrades.

S. JAMES FOXMAN | Daytona Beach, Florida

FLOOR PLANS Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan



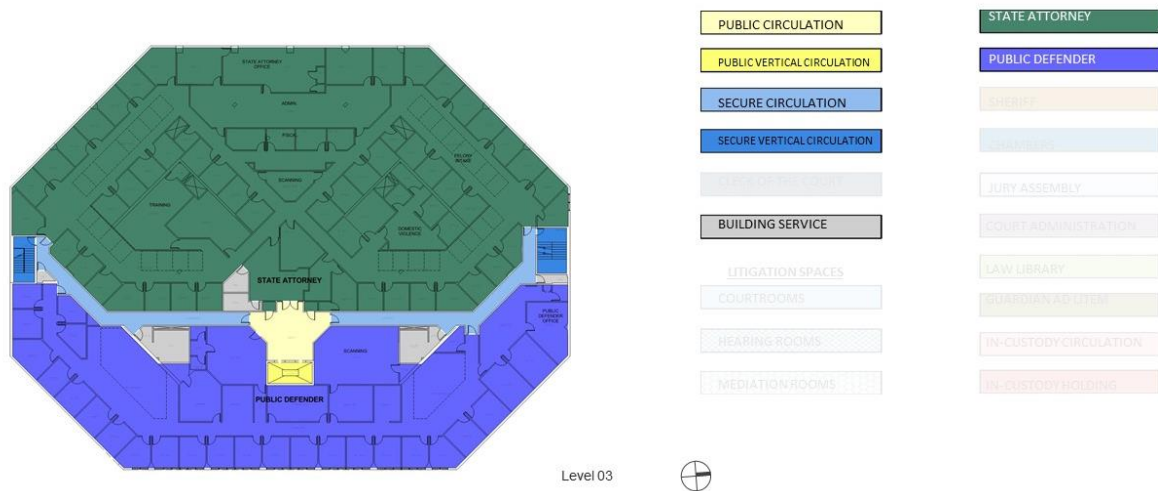
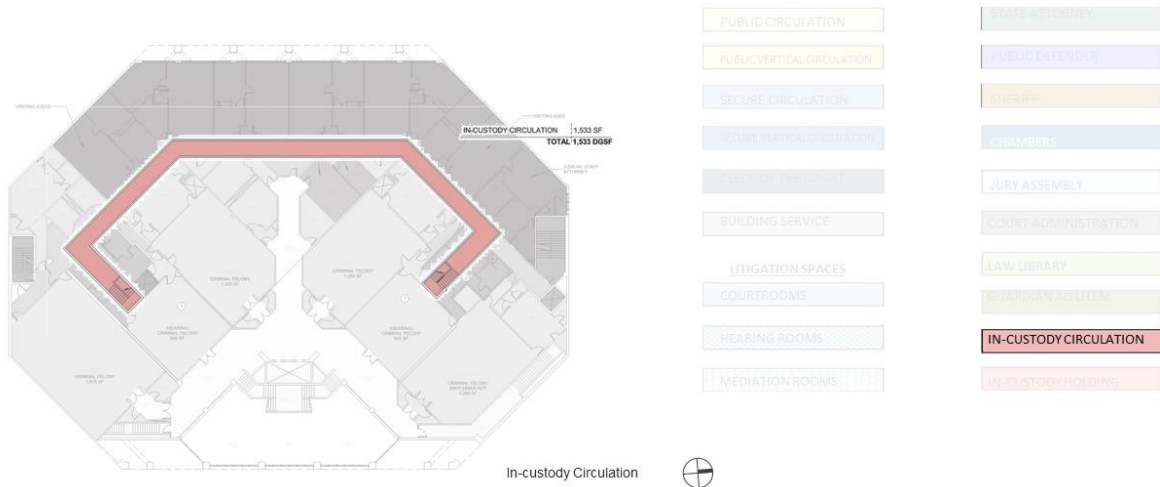
Level 01



Level 02



S. JAMES FOXMAN | Daytona Beach, Florida

FLOOR PLANS *Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan*

CITY ISLAND COURTHOUSE ANNEX | Daytona Beach, Florida

YEAR BUILT | 1970


3 STORY+ BASEMENT
71,241 BGSF
DEPARTMENTS

- COURTS & CHAMBERS
- CLERK OF THE COURT
- COURT ADMINISTRATION
- LAW LIBRARY
- SHERIFF
- IN-CUSTODY HOLDING

Introduction

The City Island Courthouse Annex is sited along the Halifax River, a three story building with views to the eastern intercostal. Built in 1970, the building has recently had some building upgrades to the elevators, mechanical air handling units and roof to keep the building functioning. The building's parti is simple, a vertical circulation core (elevators) in the center and departments surrounding the main corridor and core. The main departments housed in the Courthouse Annex are Clerk of the Court Civil and Family, Court Administration and other court agencies. Inadequate building security was observed in the team walkthroughs, being that no separation of judges, in-custody and public are present, creating a serious safety concern for the continued use of the building for courts. The observations on the following page explain some of the deficiencies of the courthouse annex.

LITIGATION SPACE INVENTORY AND BUILDING ASSESSMENT EVALUATION SCORES

Space Type	Daytona Beach
Large Trial Courtroom	
Standard Trial Courtroom	[1]
Small Trial Courtroom	3 [4]
Hearing Room	2 [6]
TOTALS: 16	5 [11]

- D** SITE COMPONENTS
- E** COURTS FUNCTIONALITY
- D** BUILDING QUALITY

Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

CITY ISLAND COURTHOUSE ANNEX | Daytona Beach, Florida

OBSERVATIONS |

SITE COMPONENTS

- Number of parking spaces seem adequate.
- No separation of public/staff/judges parking.
- Parking wraps around all sides of the building, with the holding entrance to the east and the main entrance on the south.
- ADA accessible entry.
- No secure area surrounding the in-custody entrance facility from unwarranted vehicular access.

COURTS FUNCTIONALITY

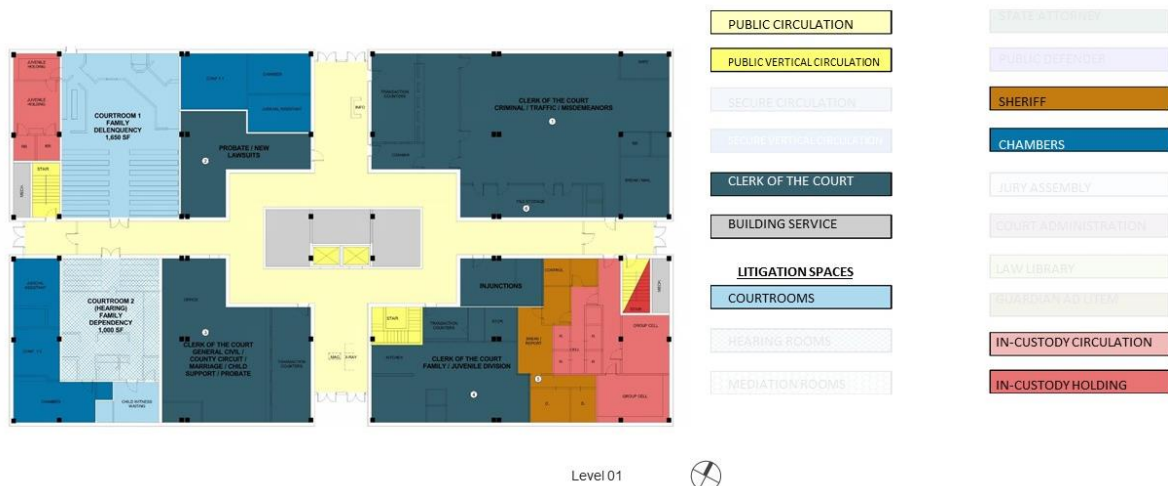
- No sallyport for in-custody delivery or loading dock.
- In-custody drop-off in the main parking lot and walk them up the stairs to a side door.
- Dedicated court building with inadequate entrance security for queuing and volume. One in screening line.
- Inadequate sized jury assembly and deliberation rooms.
- Secondary entrance in back with locked doors. No security, but there is someone sitting there to give information.
- In-custody are walked through the main public corridors and brought into the litigation spaces from the front.
- Waiting areas are long, but very narrow, causing crowding and tight conditions on busy days.
- Building lacks public support meeting spaces. Work spaces not appropriately sized.
- Small Courtrooms, some hearings held in Judge's Chambers.

BUILDING QUALITY

- Simple parti, rectangular building with an interior core that contains the elevators, restrooms, and mechanical /electrical /mail rooms. Corridor wraps around the core with functions off the corridor.
- No noticeable retrofits.
- Exterior walkways, plaza, stairs, and ramps are in need of remediation/repair.
- Exterior window/glazing system is in need of repair.
- Remediation/repair of precast & glazing envelope, leaks observed.
- Dated and worn Interior finishes; Interior Finishes in need of replacement.
- Recent mechanical and roof upgrades to keep the building going.

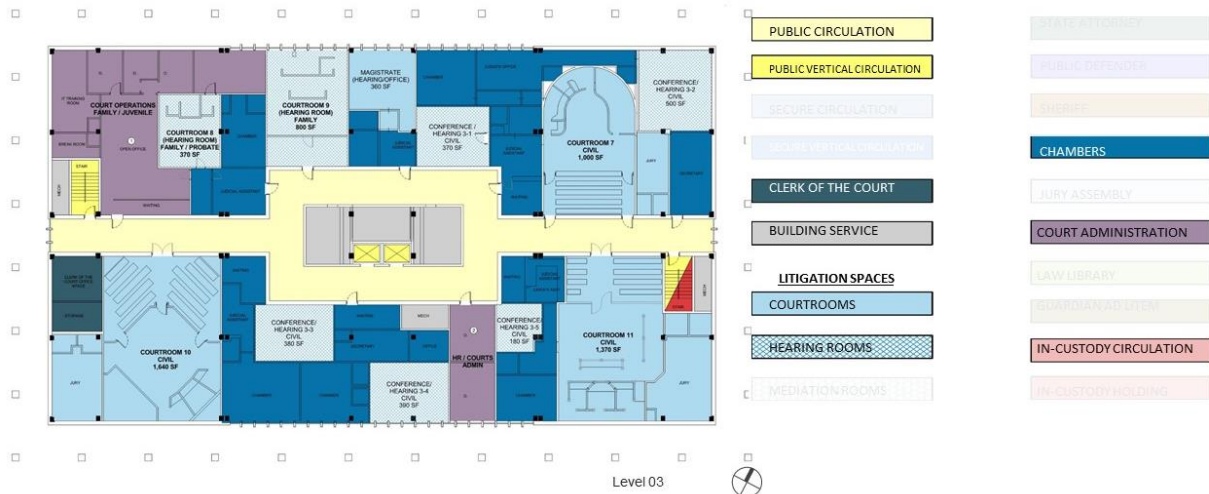
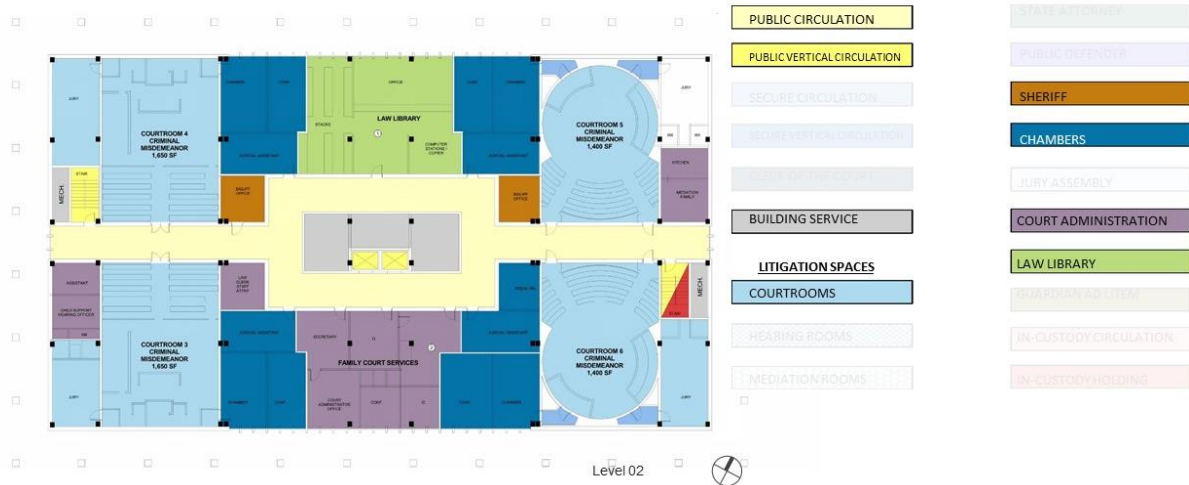
CITY ISLAND COURTHOUSE ANNEX | Daytona Beach, Florida

FLOOR PLANS Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan



CITY ISLAND COURTHOUSE ANNEX | Daytona Beach, Florida

FLOOR PLANS Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan



NEW SMYRNA BEACH COURTHOUSE ANNEX | New Smyrna Beach, Florida



124 N. Riverside Drive, New Smyrna Beach

1 STORY
10,255 BGSF
DEPARTMENTS

- COURTS & CHAMBERS
- CHAMBERS
- IN-CUSTODY HOLDING
- CLERK OF THE COURT

YEAR BUILT | 1963

Introduction

The one story courthouse annex has a simple organization, a centralized corridor with all spaces directly adjoining the corridor. The building is a direct response to the need for more county court space. The building lacks efficiency due to the detachment from any other county court facilities. Built in 1963, the building was constructed before ADA standards. The main entry is not ADA compliant. Currently, the departments that are housed in the building vary from Clerk of the Court work space, litigation spaces and other office/conference department spaces. Two litigation spaces are housed within the courthouse annex, only one is being used full time. There is no separate circulation for the public, staff and in-custody defendants. The observations on the following page explain some of the deficiencies of the courthouse annex.

LITIGATION SPACE INVENTORY AND BUILDING ASSESSMENT EVALUATION SCORES

Space Type	New Smyrna Beach
Large Trial Courtroom	
Standard Trial Courtroom	
Small Traffic Courtroom	[1]
Hearing Room	1
TOTALS: 2	1 [1]

D**SITE COMPONENTS****C****COURTS FUNCTIONALITY****A****BUILDING QUALITY**

Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

NEW SMYRNA BEACH COURTHOUSE ANNEX | New Smyrna Beach, Florida

OBSERVATIONS |

SITE COMPONENTS

- No public parking, street parking only.
- Public entry is not ADA accessible.
- Staff parking lot is adjacent to building and is shared with other court administration and sheriff building to the south.
- No sallyport for in-custody delivery.

COURTS FUNCTIONALITY

- Improperly secured building and lack of public support spaces.
- Security entrance empties into one short/narrow hallway.
- One entry and one security screening with inadequate queuing area.
- No in-custody delivery. They are walked through the main hallway and into the courtroom from the front.
- There were two side doors at the end of the main corridors with no security.
- Inadequate public waiting space along main corridor. No attorney/witness conference rooms along public corridor.
- One courtroom directly in front of the security screening, and one hearing room adjacent to security.
- Only supports Civil court cases.

BUILDING QUALITY

- Exterior walls are in need of some repair.
- Centralized corridor for all personal.



Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan

DAYTONA BEACH ADMINISTRATION | Daytona Beach, Florida



1 STORY
52,970 BGSF

DEPARTMENTS

- COURTROOM (TRAFFIC)
- SHERIFF
- STATE ATTORNEY
- GUARDIAN AD LITEM
- HUMAN SERVICES
- TAG & TITLE
- ASSESSMENTS
- VETERANS
- COUNTY MANAGER

Introduction

The Daytona Beach Administration Building is located one block east of the S. James Foxman Justice Center. Built in 1955, the building is a converted retail store that was renovated and now houses county courts and government agencies. The one story building is approximately 52,970 bgsf and consists of various offices and departments, conference rooms, a courtroom and other similar spaces. The building is sited along North Beach Street with the building front towards the Halifax River but lack of fenestration on the exterior perimeter, resulting in most spaces relying solely on artificial lighting. Below, the building evaluation scoring was based on the observations the team made during the walkthroughs. Observations on the following page document some of the deficiencies of the administration building.

LITIGATION SPACE INVENTORY AND BUILDING ASSESSMENT EVALUATION SCORES

Space Type	Daytona Beach
Large Traffic Courtroom	[1]
Standard Trial Courtroom	
Small Trial Courtroom	
Hearing Room	
TOTALS:	[1]

- D** SITE COMPONENTS
- D** COURTS FUNCTIONALITY
- C** BUILDING QUALITY

Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

DAYTONA BEACH ADMINISTRATION | Daytona Beach, Florida OBSERVATIONS |

SITE COMPONENTS

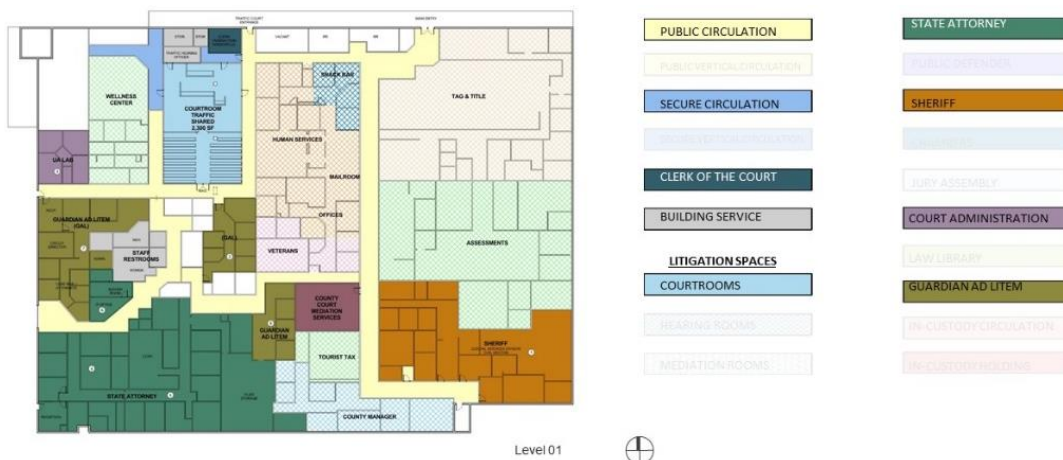
- Not a properly secured building for the public and court personnel.
- Staff parking in the rear next to back-of-house drop-off. No separation from public parking.
- No sally-port for in custody delivery.
- No sidewalk connection to the S. James Foxman Justice Center.

COURTS FUNCTIONALITY

- ADA accessible entry.
- Inadequate Entrance security; court personnel enter through multiple unsecured entrances.
- Security guard at an information desk however no magnetometers at entryway. Magnetometers set-up in front of traffic courtroom.
- Inefficient corridors and department entries.
- Inadequate public support space-corridors, entry lobby and waiting.
- No attorney-witness conference rooms along the public corridor.

BUILDING QUALITY

- Exterior walkways and walls are in need of some remediation/repair.
- Old building, converted retail/warehouse structure.
- Inadequate indoor environment – lack of natural daylight, poor indoor air quality. Absence of views to exterior.



Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan

440 & 442 SOUTH BEACH STREET | Daytona Beach, Florida

STATE ATTORNEY
 440 South Beach St., Daytona Beach
 YEAR BUILT | 1940

 2 STORY + BASEMENT + ATTIC
 7,383 BGSF
DEPARTMENTS

- STATE ATTORNEY - HOMICIDE

**BUILDING EVALUATION SCORES**

- D** SITE COMPONENTS
- B** OFFICE FUNCTIONALITY
- B** BUILDING QUALITY

PUBLIC DEFENDER
 442 South Beach St., Daytona Beach
 YEAR BUILT | 1972

 1 STORY
 2,700 BGSF
DEPARTMENTS

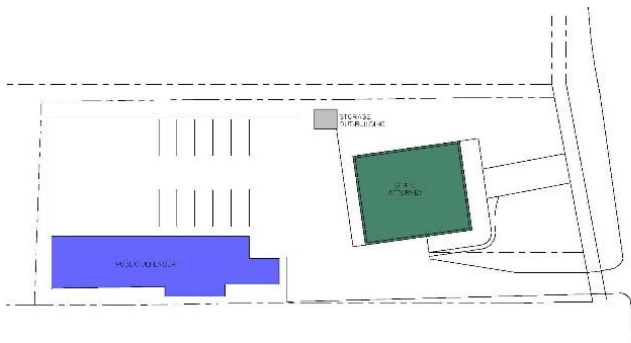
- PUBLIC DEFENDER - JUVENILE

**BUILDING EVALUATION SCORES**

- D** SITE COMPONENTS
- B** OFFICE FUNCTIONALITY
- C** BUILDING QUALITY

Introduction

The 440 & 442 buildings on South Beach Street are located south of Downtown Daytona Beach. The two buildings are sited on the same lot with distinct addresses. Built in 1982, the front building is a converted residence with three stories and a basement space which house the State Attorney's Homicide department. State Attorney – Homicide share a portion of the space with the Beach Control (Turtles) agency. The Public Defender is in a one story back building of approximately 2,700 bgsf. The two agencies share a parking lot. The observations on the following page document the deficiencies of the two buildings.



Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

440 & 442 SOUTH BEACH STREET | Daytona Beach, Florida

OBSERVATIONS |

SITE COMPONENTS440 & 442 BUILDINGS

- Not enough staff/public parking; public and staff is mixed.
- Shared parking between 440 and 442 Beach Street Buildings.
- No ADA route to building entrances.
- Flooding occurs in the parking lot during storm surge and heavy rain.
- Way-finding to site not clear for the public.

OFFICE FUNCTIONALITY440 BUILDING

- Inadequate entrance security.
- No separation from public circulation.
- No controlled access to staff offices.
- Public spaces do not meet ADA requirements; many corridors are through rooms.
- No elevator for the three story building.
- Lack of proximity impedes functionality with the rest of the department.

442 BUILDING

- No security screening or protection.
- No controlled access to staff offices.
- Public parking to close to windows of staff offices
- Remote from all other court and juvenile services
- Lack of proximity impedes functionality with the rest of the department

BUILDING QUALITY440 BUILDING

- Very old building that is in continuous need of upkeep and repair.
- Three story building basement floods during major storm events.
- Three story building attic is generally unused due to the difficult access and unfinished quality.

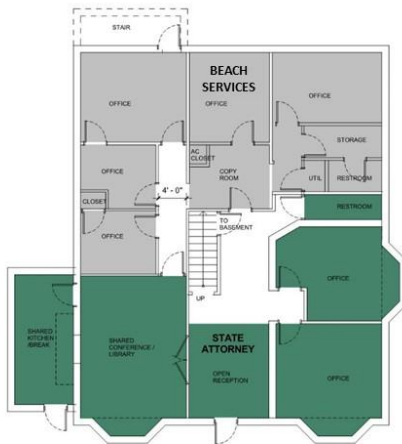
442 BUILDING

- Ceilings are extremely low.
- Old county morgue building converted into office space.
- No separation between work areas, break areas and IT servers.

440 & 442 SOUTH BEACH STREET | Daytona Beach, Florida

FLOOR PLANS Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan

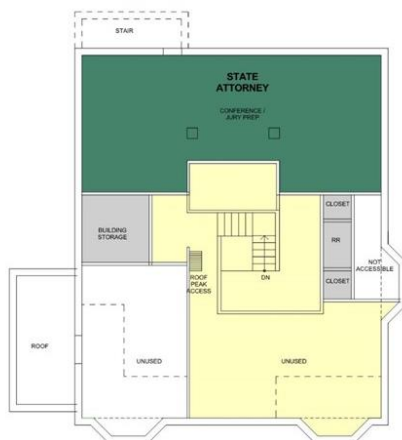
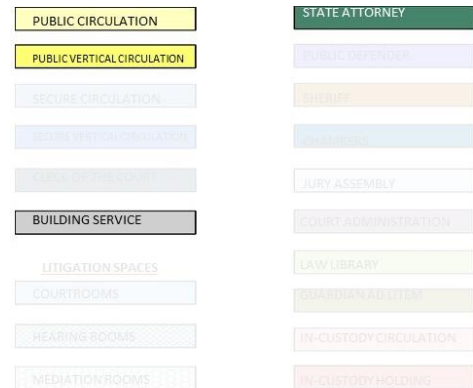
STATE ATTORNEY - HOMICIDE (440 S BEACH STREET)



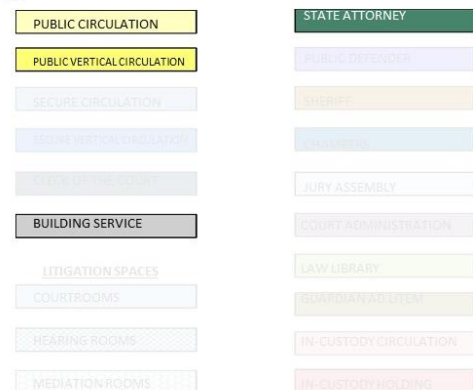
Level 01



Level 02

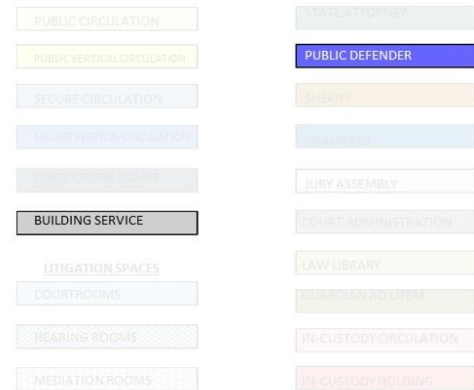
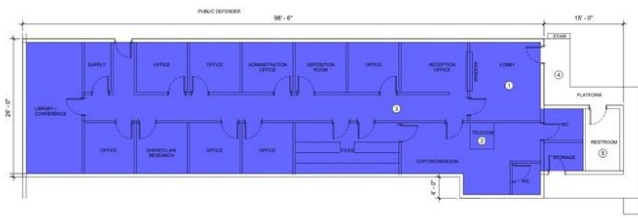


Level 03



440 & 442 SOUTH BEACH STREET | Daytona Beach, Florida FLOOR PLANS

PUBLIC DEFENDER - JUVENILE (442 BEACH STREET)



Level 01



Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan

444 SEA BREEZE BLVD (LEASE SPACE) | Daytona Beach, Florida



YEAR BUILT | 1974

8,371 DGSF

DEPARTMENTS

- PUBLIC DEFENDER - APPEALS

BUILDING EVALUATION SCORES

- A** SITE COMPONENTS
- B** OFFICE FUNCTIONALITY
- A** BUILDING QUALITY

Introduction

The 444 Seabreeze building is a lease space for the Volusia County support agencies. The lease space is located on the second floor which houses the Public Defender Appeals and another tenant (not part of the county courts judicial system). The Public Defender shares core functions such as elevators and on-floor restrooms with the general public. Recently, the office area was expanded to the east side of the floor plan. Observations on the following page expand on the deficiencies of the departmental space.



PUBLIC DEFENDER

Refer to section 03.3 - Building Assessment Documentation Process for an explanation of the litigation space inventory chart and building evaluation scoring system. A detailed building assessment evaluation matrix can be found in the Appendices – B - Building Evaluation Matrix.

Level 02

Refer to Appendices – C – County Buildings – Existing Floor Plans for larger image of floor plan

444 SEA BREEZE BLVD (LEASE SPACE) | Daytona Beach, Florida OBSERVATIONS |

SITE COMPONENTS

- Shared parking with all other groups within the building.

OFFICE FUNCTIONALITY

- Entry lobby is inadequately size for ADA compliance.
- Shared core functions outside departmental lease space.
- Lack of proximity to the rest of the department impedes functionality.

BUILDING QUALITY

- Generally acceptable for attorney office space.
- Landlord is responsible for upkeep and maintenance.

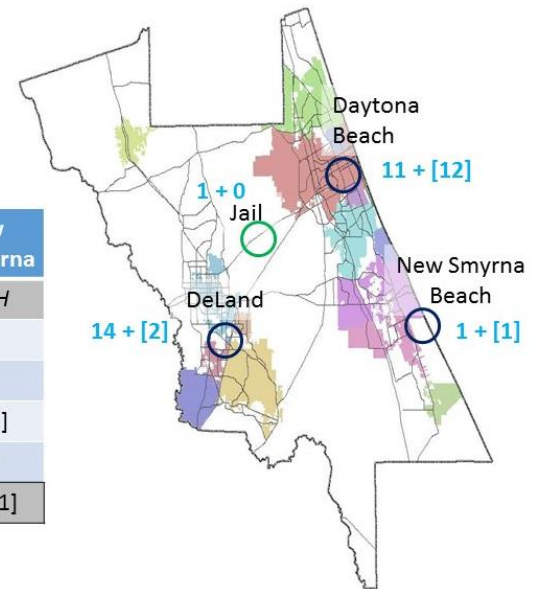
03.5 Summary of Litigation Space Inventory

The summary below gives an overview of the 42 existing litigation spaces, with 27 satisfactory to use in the future and 15 un-satisfactory litigation spaces that should no longer be used. This was presented at workshop 1 to give the workshop group a summary of the current judicial spaces.

Litigation Space Inventory

- 42 Spaces: 27 [15]

Space Type	DeLand		Daytona Beach			Jail	New Smyrna
<i>building</i>	<i>JC</i>	<i>HC</i>	<i>F</i>	<i>CI</i>	<i>Adm</i>	<i>Jail</i>	<i>CH</i>
Large Trial Courtroom	2	[1]	1		[1]		
Stnd Trial Courtroom	3		3	[1]			
Small Trial Courtroom	3			3 [4]		1	[1]
Hearing Room	6 [1]		2	2 [6]			1
TOTALS: 27 [15]	14 [1]	[1]	6	5 [11]	[1]	1	1 [1]



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04

NEEDS ASSESSMENT

04 NEEDS ASSESSMENT

04.1 PROCESS OVERVIEW

The assessment of need for any court system is an organic process, uniquely developed to identify the specific needs of that jurisdiction. Typical goals for a needs assessment including ensuring sufficient quantities of litigation spaces to meet future demand; ensuring the types of litigation spaces are suitable for the caseload anticipated, and (in multiple location jurisdictions, like Volusia County), to specify locations where those litigation spaces will be required.

In the case of Volusia County, a few features emerged early in the analysis which governed the analysis and determination of space needs throughout this process:

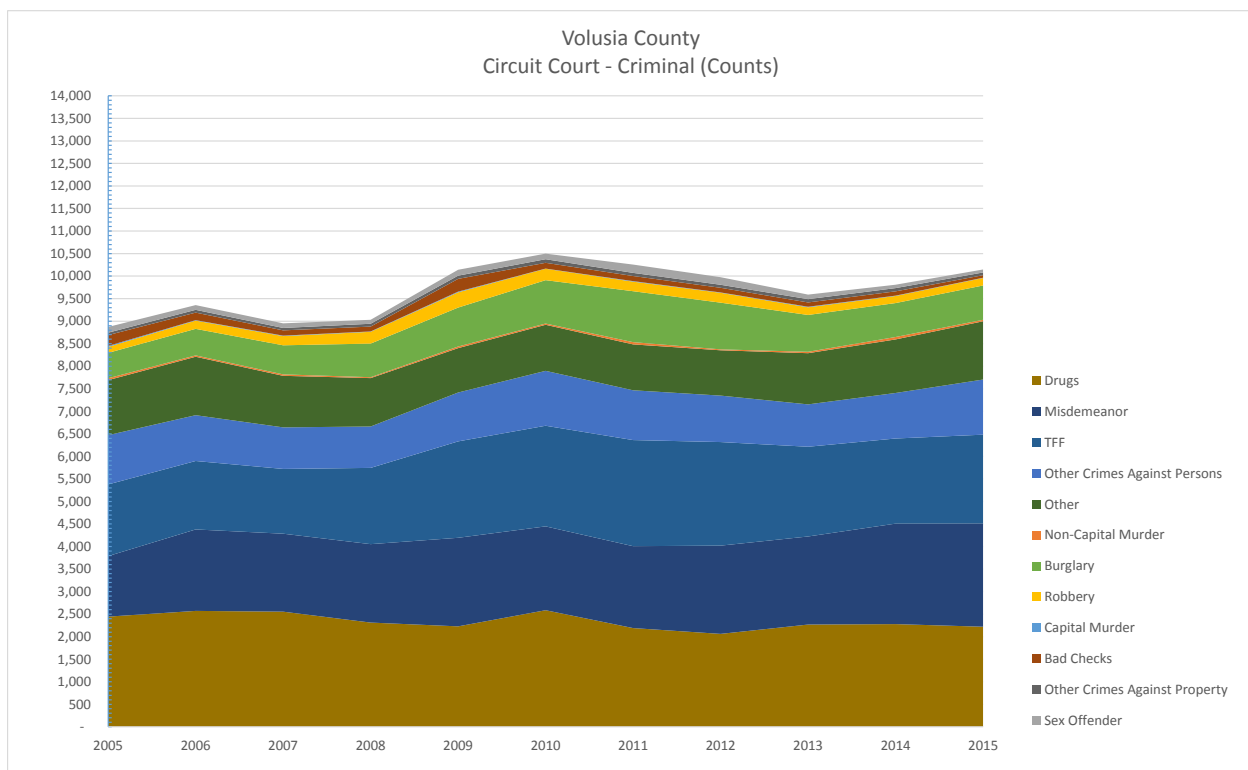
1. **QUANTITY OF SPACE NEEDED** - Volusia County Caseload/Workload have not exhibited a clear trend either up or down over the past 10 years, but rather have fluctuated up and down over that time period. This feature was confirmed by the most recent State level analysis of judicial needs, which characterized caseload growth throughout the Florida Court system as flat, even declining in some locations. Space demand has been defined not by overall increases, but by peaking in certain caseload types over the past decade (and before). The quantity of new cases is not always directly correlated with how much time it takes to complete a case. Some case types take longer than others, and therefore can increase the time required in the courtroom, even if the overall number of cases have decreased.
2. **SUITABILITY OF SPACE** - Existing spaces used for litigation purposes do not all match the court standards for those caseload types. For example, criminal court sets in Foxman are undersized and lack sufficient holding; civil and family court sets in City Island lack holding, waiting, and adequate in-courtroom space. A complete inventory of existing litigation spaces was completed to identify the highest and best potential utilization of existing spaces moving forward. This inventory was used against the assessment of need to determine the space shortfall by litigation space type, with the resulting shortfall centering on the Daytona Beach location.
3. **LOCATIONS IN NEED** - There is a significant disparity in the quality of court space in DeLand compared with the quality of court space in Daytona Beach. Consolidation of operations in one modern courthouse in DeLand has greatly enhanced operations in a safe, secure, and central location. Providing a solid counter-example, litigation operations in Daytona Beach operate out of three separate courthouse buildings, with a resulting split in operations among courts and court-related groups. Two of the three buildings pose security and other operational challenges (paths of circulation for judges/in-custody defendants; waiting space; separation of staff/public, and others). The buildings are far enough apart that one must drive between them. One building doesn't have any central holding. These and other issues were fully documented in a prior section of this report.

These early findings established intermittent peaking (not growth) in caseload as the driver of space needs, and focused our shortfall efforts on East County as a location in need of both more space and better quality space. The following discussion details the development of estimated peak needs for litigation spaces by type, and the resulting ideal space program.

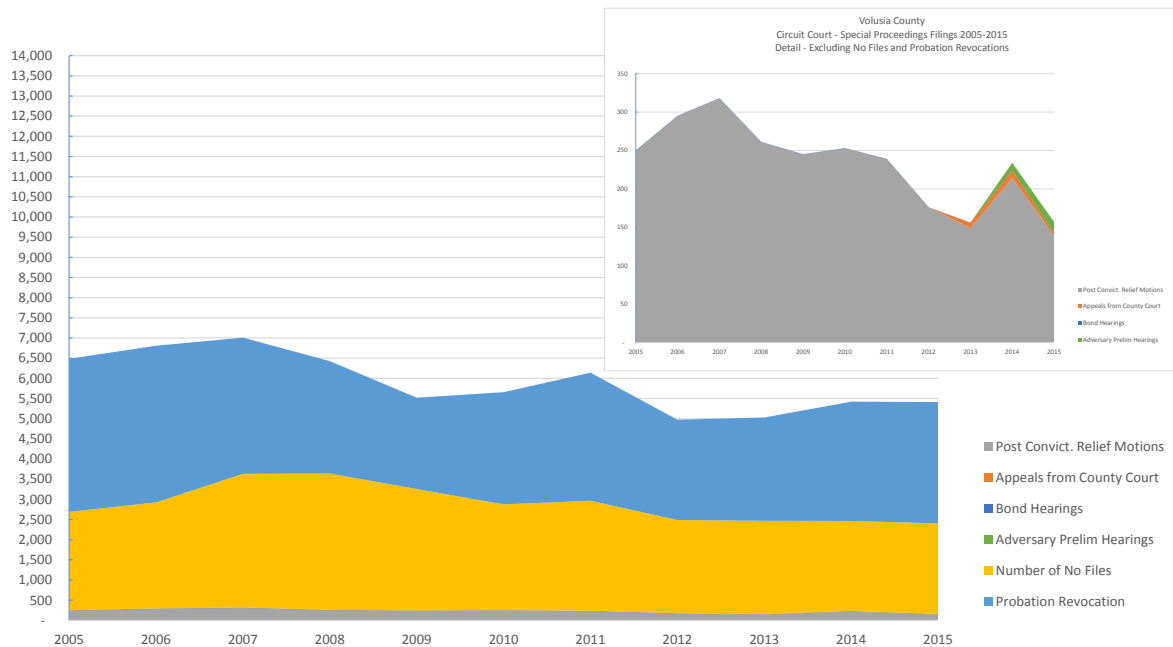
04.2 Quantity and Types of Litigation Spaces Needed

The basis of any view of the future starts with an analysis of the recent past. An analysis was completed for the past 10 years of caseload filings by type in Volusia County to identify any trends. Interviews were conducted with Court Administration and other court staff to identify operational processes that may have either temporarily or permanently impacted the volume of filings or the resulting impact those filings might have on litigation space needs. The graphs below show the historical data collected.

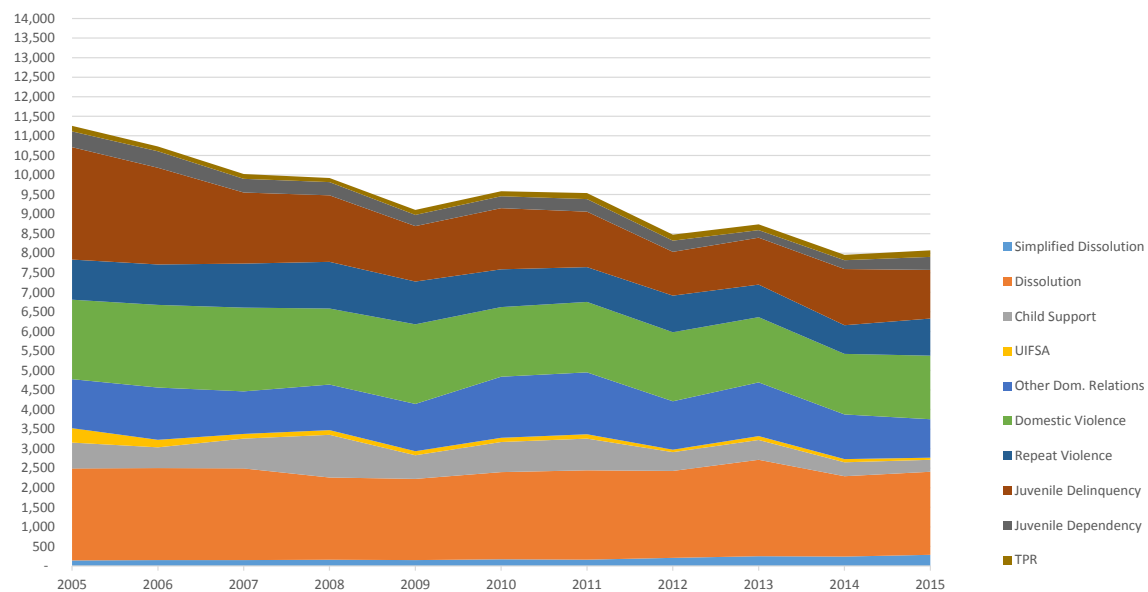
For visual comparison purposes, all caseload (except Limited Civil/Traffic) is depicted on the same scale, ranging from 0-14,000 filings. Detailed inset charts are included where a smaller scale is required to view fluctuation where the volume is too small to be visible in the larger summary charts. Limited Civil/Traffic is a high-volume caseload type, and it was depicted on a larger scale of 0-60,000, with a line drawn at 14,000 to allow visual comparison to the other caseload charts.

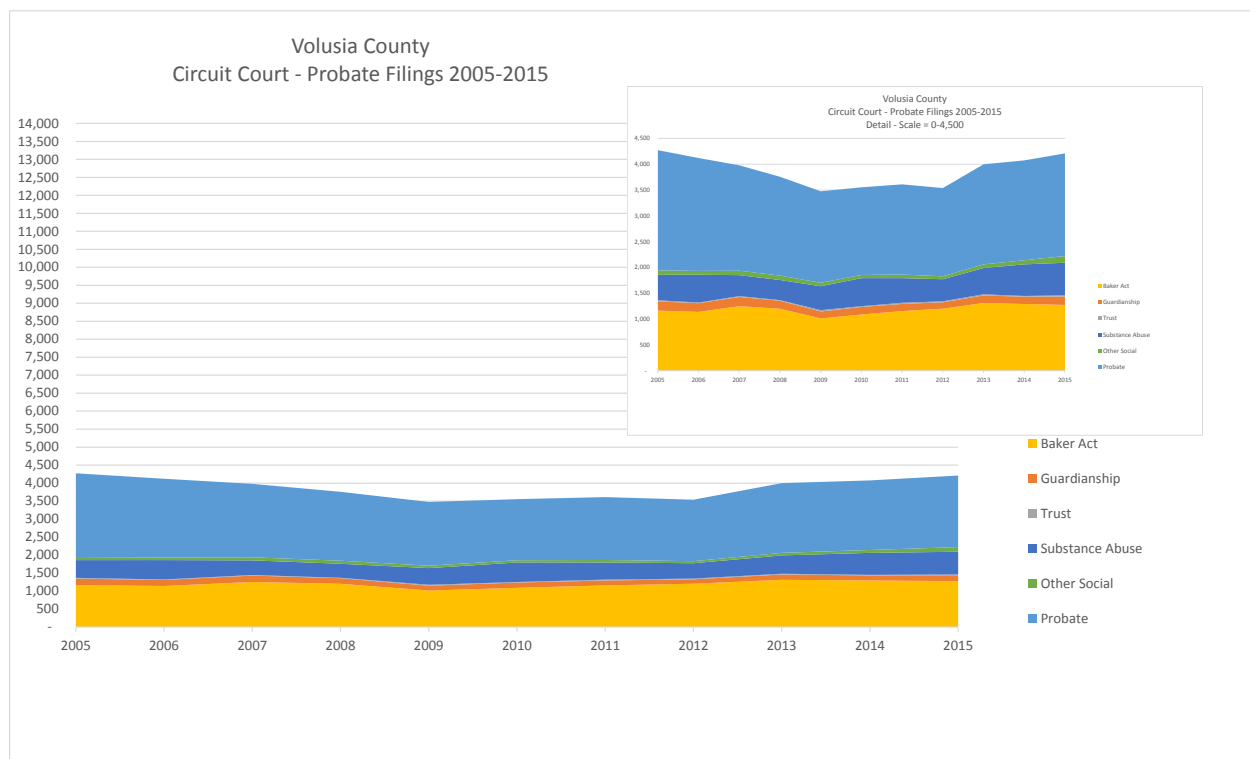
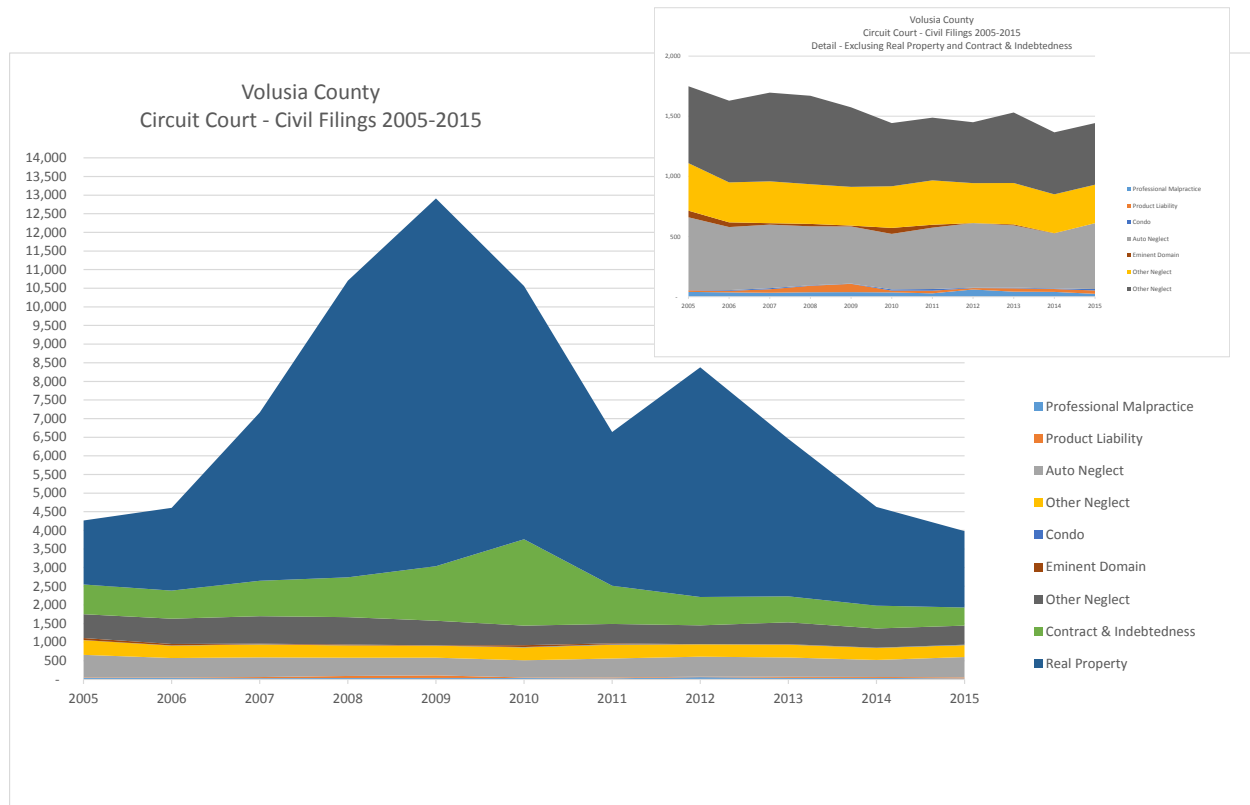


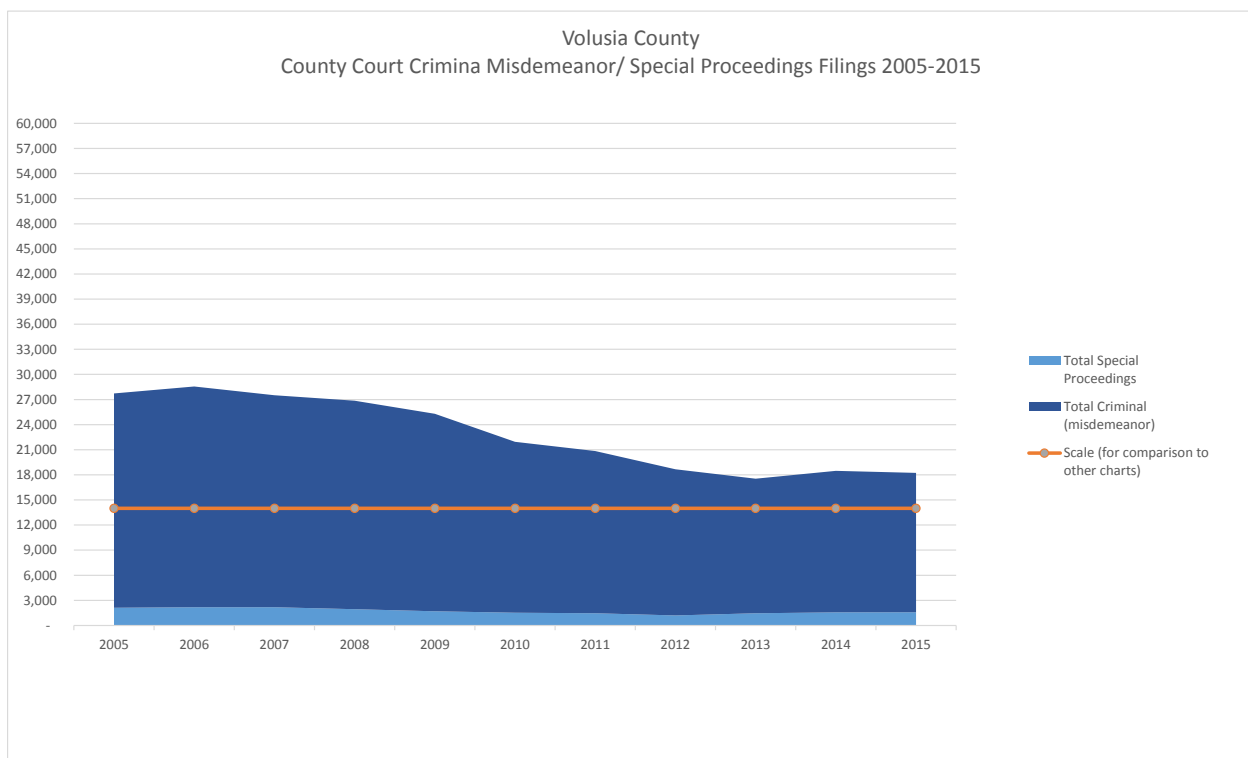
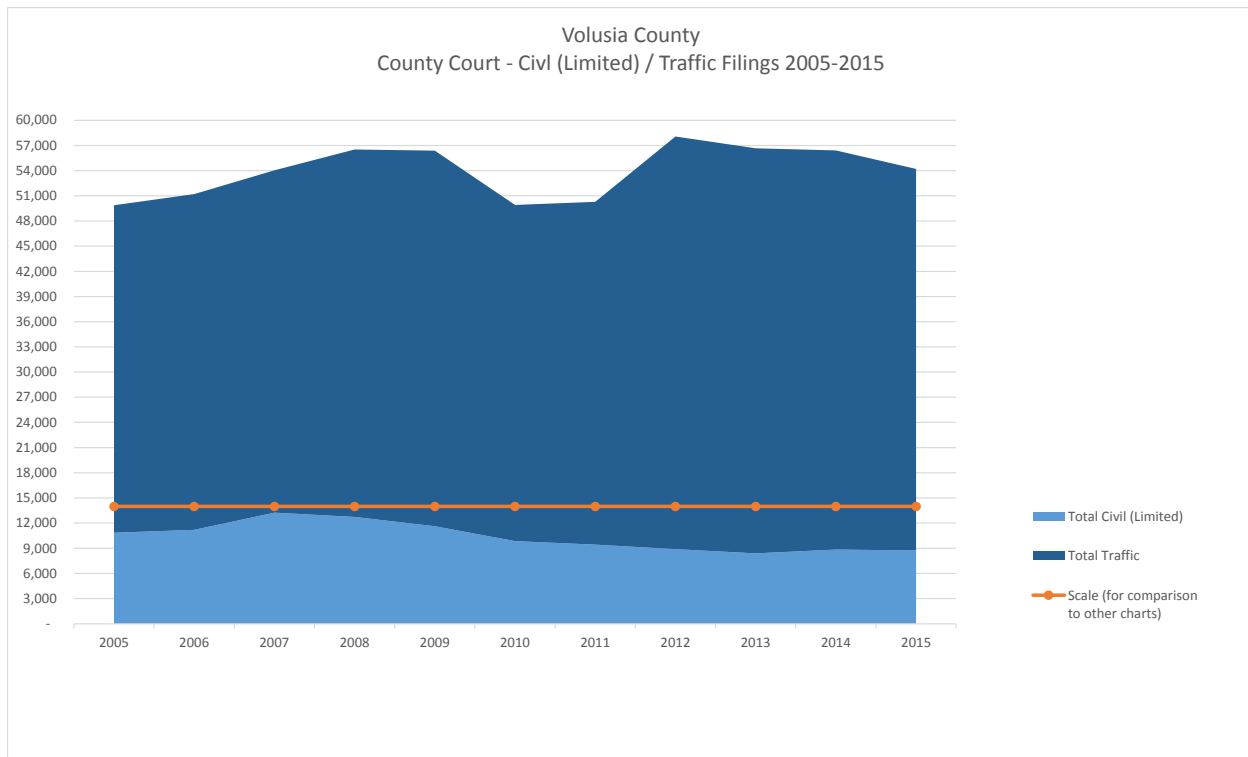
Volusia County
Circuit Court - Special Proceedings Filings 2005-2015



Volusia County
Circuit Court - Family Court Filings 2005-2015



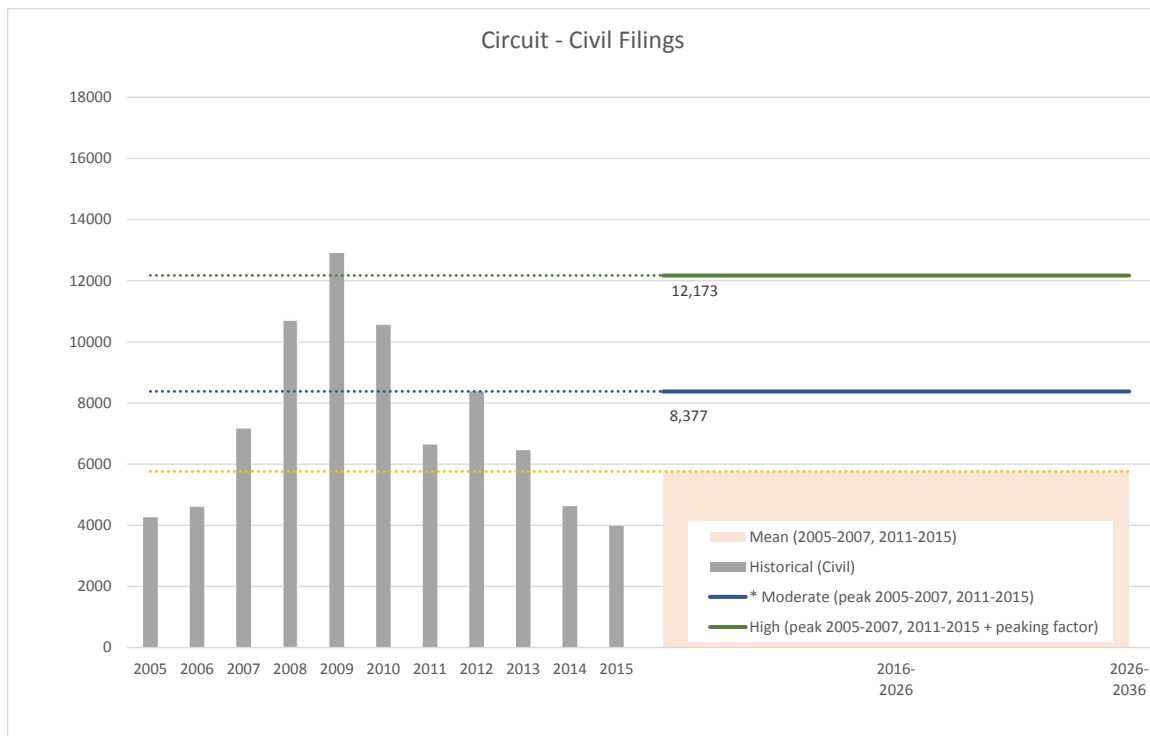
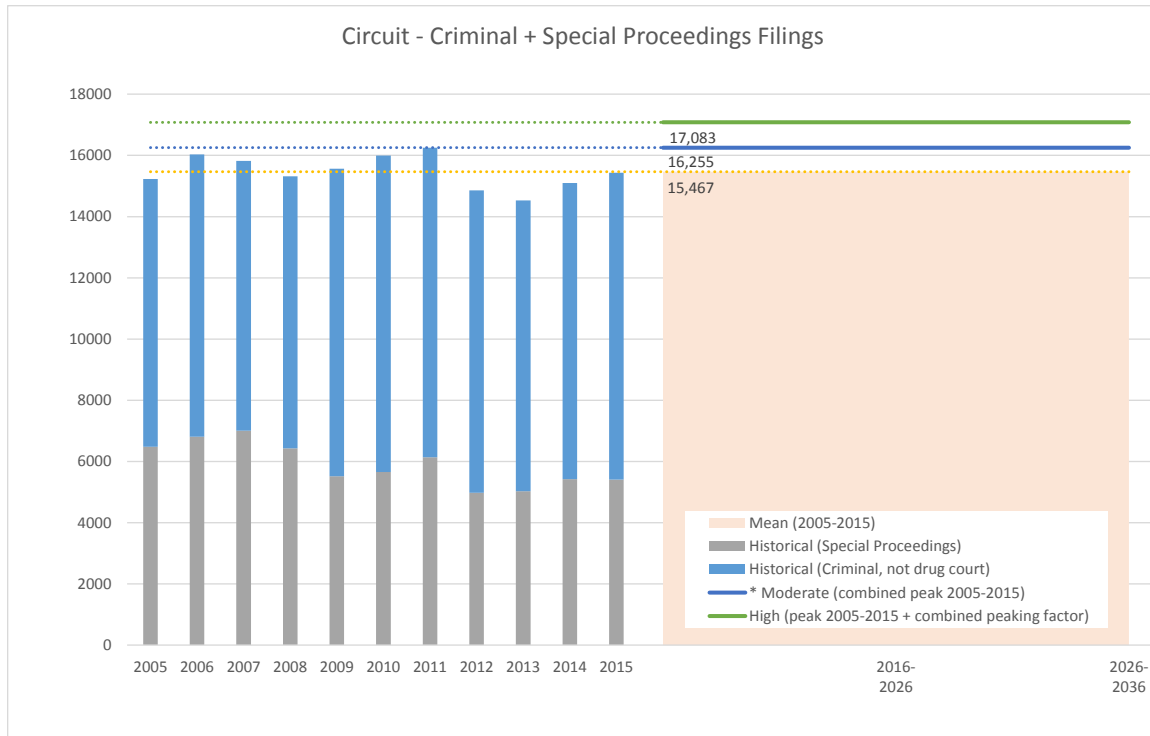


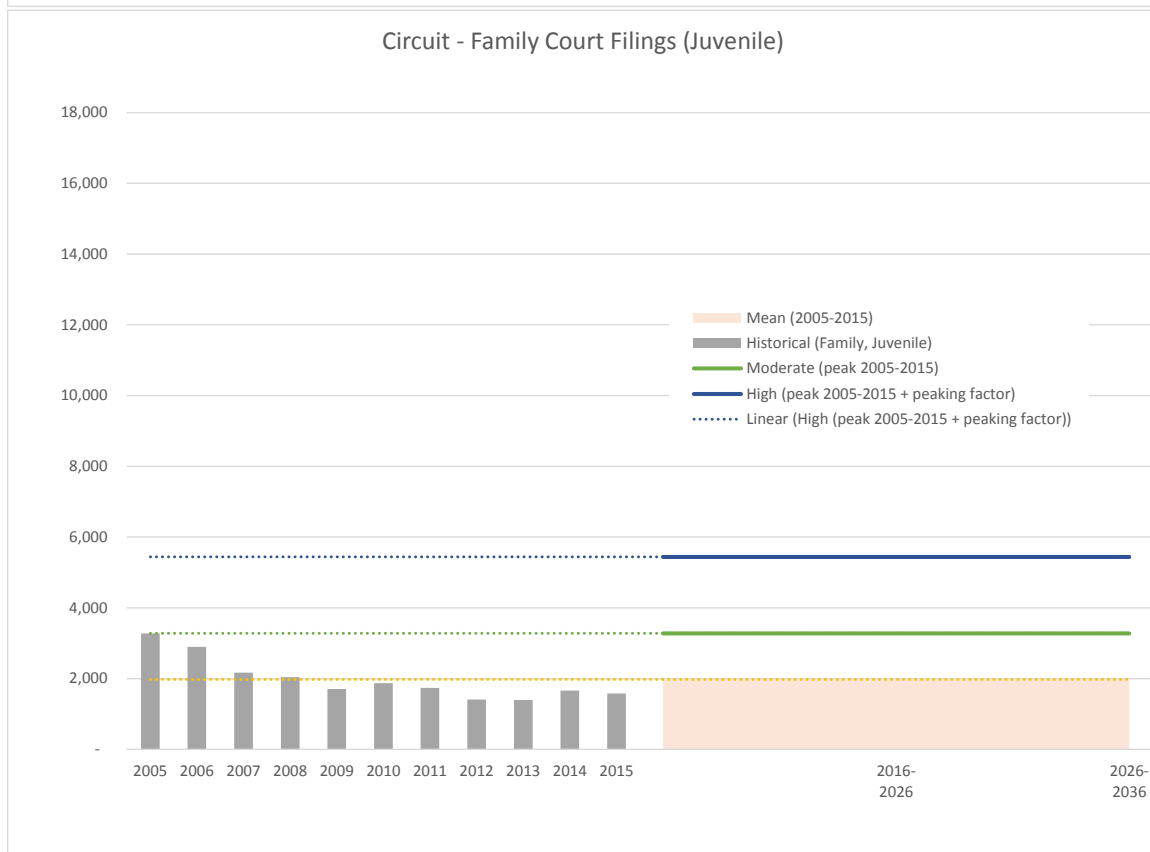
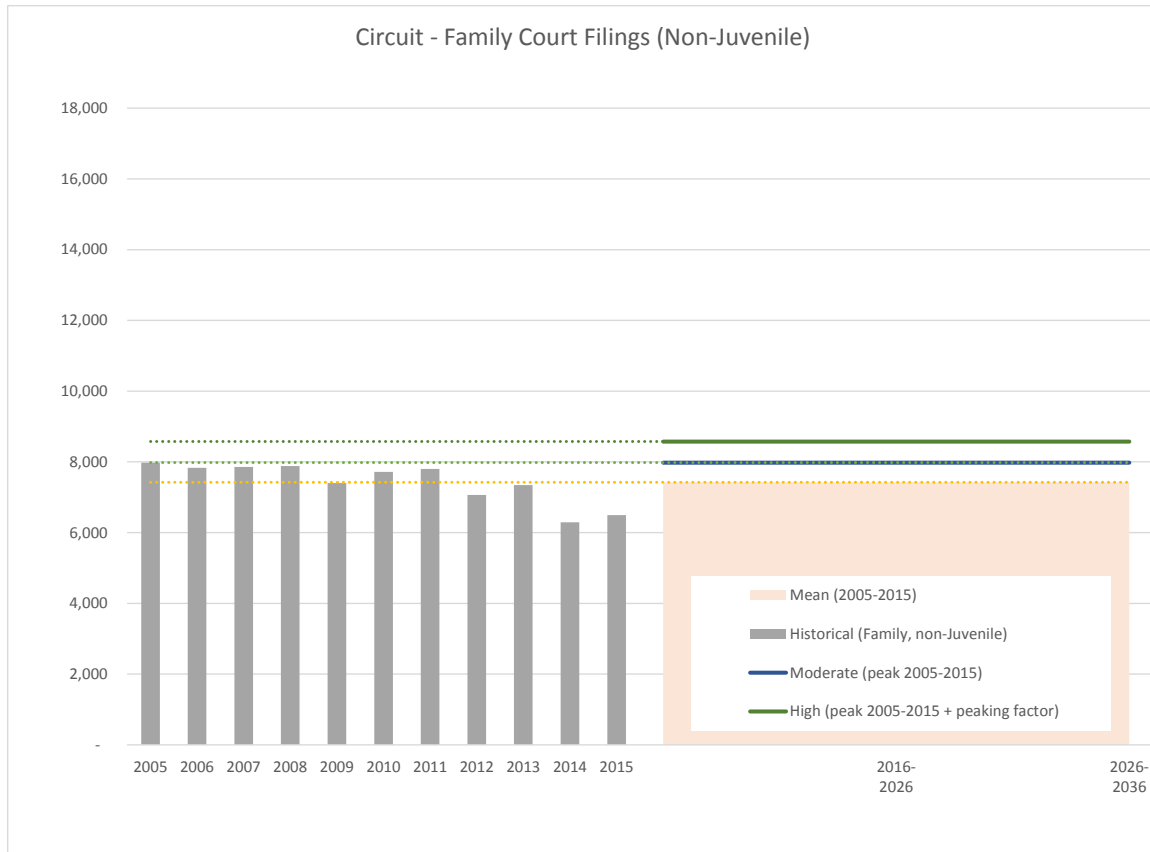


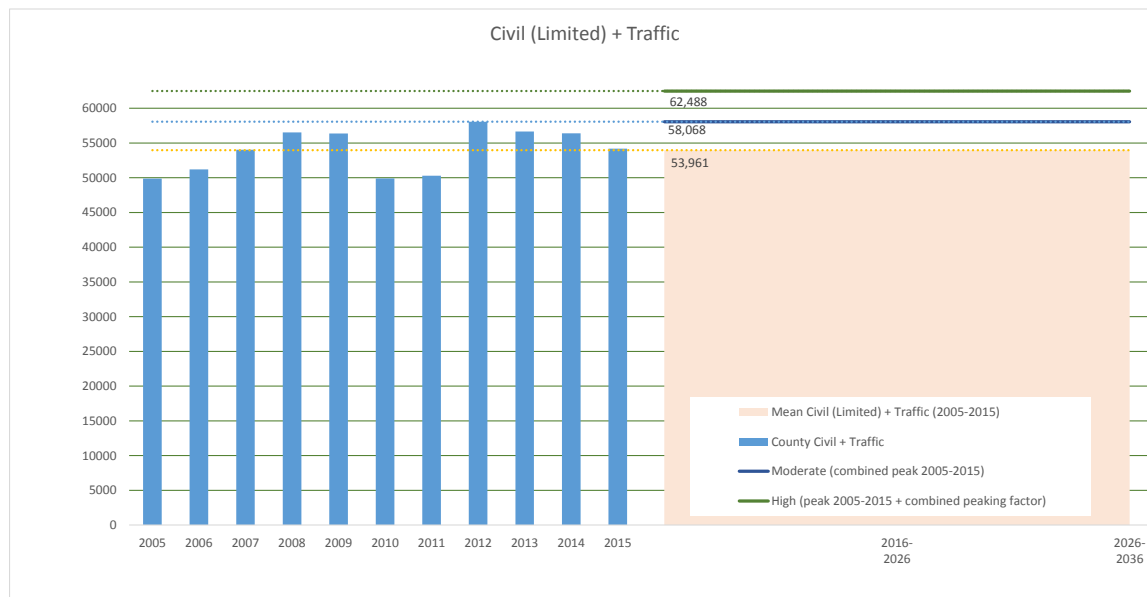
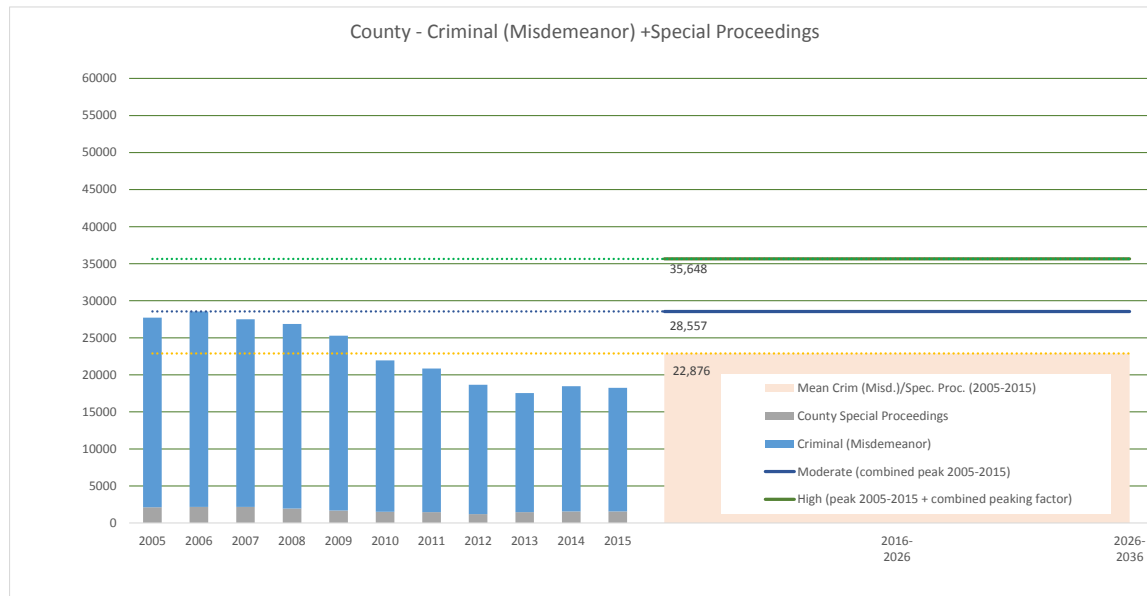
Peak Analysis

Because the change in caseload over the past decade was characterized by fluctuation, rather than increasing or decreasing trends, a peaking analysis was conducted to identify the median and high levels of caseload that had occurred, by caseload type in aggregate. This peaking analysis produced a unique range of filings change for each caseload type.

As part of the peaking analysis, three potential planning benchmarks were considered for each caseload type – “High” (defined as the peak level from 2005-2015 plus the combined peaking factor experienced over that decade), “Moderate” (defined as the combined peak actually experienced over the time period 2005-2015), and “Mean” (defined as the average of the total filings actually experienced over the time period 2005-2015). These three potential levels are shown on each chart. These various potential caseload “peaks” were presented to Court Administration and court stakeholders in Workshop 1. The consensus following that workshop was to use the Mean peak for space needs estimating.







Litigation Full-Time Equivalent (LFTE) Analysis

A detailed analysis of the time in the courtroom (bench time) was analyzed for each caseload type to establish ratios of filings per Litigation Full-Time Equivalent (LFTE). Volusia County's 2015 LFTEs and filings were used to complete the analysis and generate a total estimate of LFTEs required to meet peak demand over the past decade using the Mean Peak Filings as the estimate of future workload/demand.

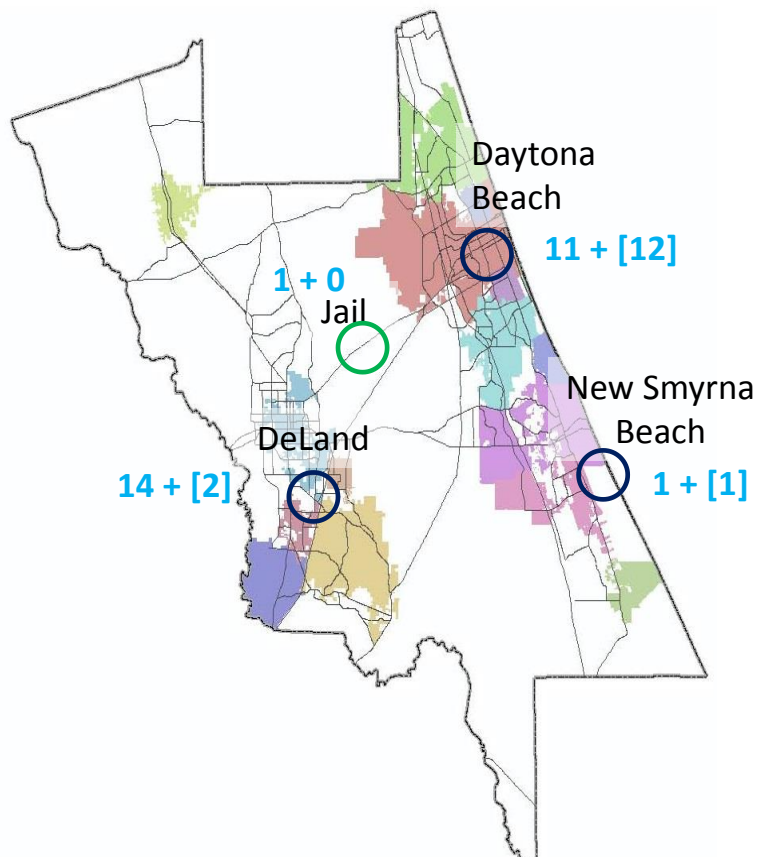
LFTE Demand	2015 LFTEs	2015 Filings	Filings / LFTE	Peak Filings (Mean)	Peak LFTEs
Criminal (Misdemeanor) + Special Proceedings	6.0	14,647	3,039	28,557	9.4
Civil (Limited) + Traffic	4.0	54,203	13,490	58,068	4.3
Criminal (Felony) + Special Proceedings	5.5	10,022	2,812	16,255	5.8
Drug Court	0.4	125	313	158	0.6
Probate (Baker Act)	0.1	1,275	12,750	1,312	0.1
Probate (Marchman Act)	0.1	631	6,310	631	0.1
Civil (Unlimited)	3.9	3,980	2,021	8,377	8.2
Family (Juvenile)	3.0	1,577	526	3,278	6.2
Probate (non-Marchman, non-Baker)	1.0	2,305	2,305	2,615	1.1
Family (non-Juvenile)	7.0	6,495	928	7,978	8.6
County Totals		102,562		127,229	44.0

Source: Docket Analysis, Volusia County Courts, Dewberry

It was determined in Workshop 1 that each caseload type appeared to have experienced its “peak” in a different year, most likely impacted by different economic and other community factors. The reality in Volusia County was that when one caseload type peaked, another ebbed, and the litigation spaces were shifted to accommodate the caseload type that required more space. The existing 42 litigation spaces had managed to handle those historical peaks with no issues; therefore, the future needs were set at “current + 2” with a focus on replacing inadequate litigation spaces, as described in Section 04.3.

04.3 Suitability of Space / Locations in Need

The inventory efforts completed as part of the facility assessments produced an estimate of the numbers of litigation spaces as defined by court standards, rather than current assignment. A summary inventory was developed by litigation space type and by location (building). Rooms that are not in alignment with their utilization were included in [square brackets].



Litigation Space Inventory

The resulting inventory identified that of the total 42 litigation spaces in use at the time of this analysis, 15 of them were not adequate for one reason or another. As shown in the inventory table, the bulk of the inadequate rooms can be found in the City Island Courthouse in Daytona Beach.

Space Type	DeLand		Daytona Beach			Jail	New Smyrna
<i>building</i>	<i>JC</i>	<i>HC</i>	<i>F</i>	<i>CI</i>	<i>Adm</i>	<i>Jail</i>	<i>CH</i>
Large Trial Courtroom	2	[1]	1		[1]		
Std Trial Courtroom	3		3	[1]			
Small Trial Courtroom	3			3 [4]		1	[1]
Hearing Room	6 [1]		2	2 [6]			1
TOTALS: 27 [15]	14 [1]	[1]	6	5 [11]	[1]	1	1 [1]

Building Abbreviations:

JC – Justice Center

HC – Historic Courthouse

F – Foxman

CI – City Island

CH – Courthouse

To ensure the flexibility required to handle a historical level of caseload fluctuation in the future, a preference was given to larger, more flexible spaces (criminal court sets) to allow for similar shifting to accommodate fluctuations in caseload demand moving forward.

04.4 Shortfall Analysis

The inventory of litigation spaces was compared with the anticipated peak needs to produce a shortfall by location, by litigation space type.

The resulting shortfall analysis identified that the inadequate litigation spaces in Volusia County should be replaced and augmented by:

Daytona Beach:

- Reassignment of Existing Courtrooms as follows (in S.J. Foxman):
 - 1 Large Trial Courtroom
 - 3 Standard Trial Courtrooms
 - 2 Hearing Rooms
- New construction:
 - 9 Large Trial Courtrooms
 - 5 Small Trial Courtrooms (for Civil or Family)
 - 8 Hearing Rooms

DeLand:

- Reassignment of Historic Courtroom as “unassigned.”
- Retain all litigation spaces in Deland Courthouse.
- New Construction:
 - One new Large Trial Courtroom (dedicated for Traffic/Limited Civil)
 - One additional Hearing Room

04.4.5 Projection – Peak case load year (2008) becomes the average

The east side of the County has a total of 26 litigation spaces. The total East County litigation space need for 2035 is 26 *if the current split system still exists* with the right size courtrooms.

EAST COUNTY LITIGATION SPACE NEEDS ANALYSIS							
	Daytona Beach			New Smyrna	Total	Needed Current + Future Growth	
	F	CI	AD	CH		LFTEs	Court Sets
Large Trial Courtroom	1		0	0	1 [1]	8.97	9
Standard Trial Courtroom	3	[1]	0	0	3 [1]		
Small Trial Courtroom (Civil)	0	3 [4]	0	[1]	3 [4]	1.95	2
Small Trial Courtroom (Juvenile)						2.51	3
Traffic Courtroom	0	0	[1]	0	[1]	1.00	1
Hearing Room (Civil)						5.90	6
Hearing Room (Family)	2	2 [6]	0	1	5 [6]	4.91	5
Hearing Room (Probate)						0.10	0*
Totals: 12 [14]	6	5 [11]	[1]	1 [1]	12 [14]		26
*Probate in East Volusia County will be heard either off-site or in a shared litigation space.							
Mediation Room	0	0	[1]	0	0	4	4

Peak Caseload Year (2008) becomes the Average

04.5 Projection – Litigation Space Needs

Currently the majority of courtrooms and hearing rooms that are crowded into the City Island Annex are almost all undersized, which leads to a great inefficiency and complex sharing of litigation spaces. If the courtrooms and hearing rooms can be consolidate into one facility and are made to be the right size courtrooms, then the need for 26 courtrooms identified above (04.4.5) can be reduced to 22. In a new consolidated Daytona Courthouse, the use of courtrooms and hearing rooms will be much more flexible for change in case types and growth (as demonstrated at the Deland Courthouse). As growth in the County adds judgeships beyond 2035, the sharing of courtrooms will allow for just the addition of chambers, rather than full courtroom sets.

DeLand West Courthouse				
	Existing	Peak Need	Base Bldg	Base w/ chamber expansion
Judicial Chambers (not including 1 visiting)	11	17	12	14
Courtroom Type	Existing	Peak Need	Base Bldg	Base w/ chamber expansion
Large Courtrooms	1	2	1	1
Standard Trial Courts	4	4	4	4
-				
-				
Small Courtrooms (Civil)	1	1	1	1
Small Courtrooms (Juv)	1	2	2	2
Traffic Courtroom	1	1	1	1
Hearing Rooms (Civil)	3			
Hearing Rooms (Probate)	1	7	6	6
Hearing Rooms (Family)	2			
Total Litigation Spaces	14	17	15	15
Litigation/Chamber Ratio*	1.27	1.00	1.25	1.07
*Does not include Magistrates and hearing officers.				

Daytona East Courthouse				
	Existing	Peak Need	Consolidation Option	w/ chamber expansion
Judicial Chambers (not including 2 visiting)	17	26	17	19
Courtroom Type	Existing	Peak Need	Consolidation Option	w/ chamber expansion
Large Courtrooms	1	2	1	1
Standard Trial Courts	2	7	7	7
Small Courtrooms (Crim)	4			
Hearing (Criminal)	2			
Small Courtrooms (Civil)	3	2	2	2
Small Courtrooms (Juv)	2	3	2	2
Traffic Courtroom	2	1	1	1
Hearing Rooms (Civil)	6	6	6	6
Hearing Rooms (Probate)				
Hearing Rooms (Family)	3	5	3	3
Total Litigation Spaces	25	26	22	22
Litigation/Judge Ratio*	1.47	1.00	1.29 consolidated	1.16

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05

SPACE NEEDS PROGRAM

05 SPACE NEEDS PROGRAM

05.1 Space needs Summary (2035)

An architectural program is a listing of all the spaces required to design a building, with additional information related to desired operations, adjacency needs, and relationship to the rest of the building's occupants. Space programming can be helpful on any capital project, but is typically most useful when the building is mission-focused and has complex layers of user needs which must be carefully identified and preserved throughout the design process. Courthouses are buildings with specific security concerns which require four distinct paths of circulation for public, staff/jurors, judiciary, and in-custody parties. Courthouses also require an outward facing public presence, grounded in customer service; and a historical responsibility to inspire a sense of place. Courthouses are buildings which benefit greatly from the programming process to ensure effective use of space created.

Format and Content

The space needs program and associated detail include each of the functional areas in the building, by room or area.

- Functional areas are grouped by number (1.000, 2.000, etc.) with subordinate components numbered sequentially (1.100, 1.200, 1.300, etc.) within that area.
- Space is indicated in three increments of measurement – net square feet (**NSF**, interior area, from interior wall to interior wall of programmed rooms), departmental gross square feet (**DGSF**, area including interior circulation and some shared spaces, as used for the definition of the area associated with leased space), and building gross square feet (**BGSF**, full area contained inside the exterior building envelope, used for new construction).

Each section focuses on a specific functional area or building user. The following narratives include a brief summary of each functional space.

Space Descriptions

1.000 Building Entrance, Queuing, and Security

The building entrance includes the main ingress / egress for all building users, including staff. Building security screening and queuing are the first element in this space, followed by the lobby and main hub of horizontal and vertical circulation.

In this case, some building security elements are also included in the front entrance, including pat search, gun lockers, and building central control (with annunciator panels).

2.000 Clerk of the Court

The Clerk of Court has a separate operation for each Division of the Courts. These staff handle the paperwork associated with all court cases, including new filings. They also provide clerks in the courtrooms, to handle case processing tasks. In the Volusia County Courthouse in DeLand, Divisions include Family Law, Felony, and Civil; Traffic Clerk services are in City Island. In Daytona Beach (S. James Foxman Justice Center), Divisions include Family Law, Felony, Civil, and Traffic.

A satellite Clerk presence in New Smyrna Beach handles Civil and Traffic filings for that court facility.

The Clerk of Court also manages jury services, and has a presence in DeLand and one in Daytona Beach (Foxman) for that purpose.

3.000 Court Sets

The Florida Courts employ several types of litigation spaces in which cases are adjudicated. These “court sets” include the courtroom and surrounding areas required for that case to hear the intended caseload. In addition to the courtroom, court sets include associated in-custody defendant holding cells, witness waiting rooms, attorney client interview rooms, and jury deliberation suites, (in trial courtrooms).

Large, or Ceremonial Court Sets are fully equipped criminal courtrooms with jury and holding for criminal trials and typically require approximately 5,000 DGSF per court set. These rooms have a large enough well to allow them to accommodate multiple litigants, and a spectator area large enough for highly publicized cases or class action lawsuits. A variant on this court set is similarly sized, but used for Traffic.

Standard Trial Court Sets have jury boxes and jury deliberation spaces, plus connection to adjacent secure holding. They have a well sufficient to accommodate single or dual-party trials, and usually require approximately 4,500 DGSF per court set.

Small Trial Court Sets are approximately 3,500 DGSF per Court Set, which can be equipped either with 7-person deliberation rooms (for Civil trials) or with holding (for Juvenile/Family trials).

Hearing/Mediation Suites are also in high use in Volusia County. To adequately provide for mediation, each room must have adjacent breakout space (one room per Mediation Room) so that parties can break out to discuss, then come together to resolve.

4.000 Chambers

Chambers are the offices where judges and their staff are located, when not in the courtroom. In Volusia County, each judge has one Judicial Assistant who is located nearby. Judges can share Law Library/Conference Rooms, particularly if the chambers are grouped together in collegial fashion.

5.000 Law Library

The Law Library is a service that benefits all citizens, but which receives its highest use from pro-se litigants. In DeLand the Law Library is located in the Courthouse. In Daytona Beach, it is in the City Island Courthouse. This space includes up-to-date periodicals and computer reference guides, as well as frequently requested forms. A small staff area is required for the full-time Law Library personnel.

6.000 Courts Administration (Case Mgt. / Self-Help / General Mag. / Teen Court)

Court Administration includes a variety of customer service elements, which can benefit from co-location (as in DeLand). These elements include Case Management (which supports pro-se litigants), the General Magistrate (who handles mediations), and the Teen Court function.

7.000 Courts Administration

The remainder of Court Administration includes the group that over sees court operations (General Administration, Finance, and Public Information) plus the groups that serve daily court operations (Court Information Technology, Court Reporting/Interpreter Services). These two groups do not require co-location, but if they are co-located, they can share staff break areas and restrooms.

The final element of Court Administration is the Drug Court Support/Pre-Trial Services/ Urinalysis Suite, which is grouped in DeLand providing tremendous efficiencies. This area supports all treatment and alternative court options, with frequent interface with the Drug Court staff. This suite does not require co-location with other Court Administration functions.

8.000 State Attorney

The State Attorney prosecutes all cases on behalf of the State in Volusia County. This function is divided into three main areas of effort – Homicide Division, Staff Attorneys, and Administration/IT (East County only). In Daytona Beach, these functions are not in the same building. In DeLand the office is in one location, which benefits communication among staff.

An important element for this function is the ability to interview and depose clients and witnesses outside of the staff area. The program includes appropriate interview/meeting spaces for that purpose.

9.000 Public Defender

The Public Defender handles the defense of all individuals who qualify for public defense counsel. The functional areas include a division that handles First Appearances (near the jail) and the remainder of the Defense Counsel, who are housed in the Courthouses in Daytona Beach and DeLand.

An important element for this function is the ability to interview and depose clients and witnesses outside of the staff area. The program includes appropriate interview/meeting spaces for that purpose.

10.000 Guardian Ad Litem

The Guardian Ad Litem provides support and help to minors who are involved in some way with the judicial system, but who are not defendants. The clients served may include minors over whom custody is being debated, minors being removed from their parents' custody, or children who are witnesses. As a child advocacy group, the Guardian Ad Litem frequently finds itself meeting a wide range of unmet family needs. A large storage room holds basic food staples, clothing, self-care, and some toys for distribution. Case managers often work part-time. The office area must preserve the confidentiality of all parties, including their identities.

11.000 Sheriff (Staff and Holding)

The Sheriff manages several functional areas in a courthouse – the holding area (which includes in-custody deliver, holding, plus movement of in-custody defendants to the courtrooms), the courtrooms (where Bailiffs ensure the safety of the judge and all other parties), and the building entrance (where the public is screened upon entry). The entrance security screening areas are included in the program for the building entrance. Bailiff space is included in the litigation space program.

The Sheriff's program tables include the holding area and staff spaces required in a new consolidated court location for the courts to function as intended. This program includes space for holding with all the separations required according to standards and best practices – females, males, adults and juveniles, victims/predators, and sufficient flexibility to accommodate the constant changes in the populations held. This area also includes staff muster, locker, and work areas.

A.000 Public Defender (Appeals)

The Public Defender has an office located in East Volusia County that is dedicated to handling appeals cases. These cases are all heard in the Fifth District Court of Appeals, located on S. Beach Street. This function of the Public Defender's office does not interact with the other court elements, but requires adjacency to the Fifth District location. This group is housed in leased space in the Seabreeze Building.

WEST VOLUSIA COUNTY SPACE NEEDS SUMMARY

	SPACE	EXISTING(DGSF)	2035(DGSF)	EXPANSION(DGSF)
	1.00 BUILDING ENTRY AND SECURITY	4,123	11,283	-
	2.00 CLERK OF THE CIRCUIT COURT	47,252	44,928	-
	3.000 COURT SETS	34,453	47,732	1 @ 3,354
	4.000 CHAMBERS	13,975	14,864	1 @ 749 + ~500 (shared)
	5.000 LAW LIBRARY	2,154	2,203	2,203
	6.000 COURT ADMINISTRATION (CASE MANAGEMENT / MANAGEMENT / SELF HELP / GENERAL MAGISTRATE/TEEN MAGISTRATE/TEEN COURT)	6,247	6,141	-
	7.000 COURT ADMINISTRATION	6,856	11,555	4,699 + 2,738 (relocated)
	8.000 STATE ATTORNEY	11,076	15,471	4,395
	9.00 PUBLIC DEFENDER	9,162	12,936	3,774
	10.000 GUARDIAN AD LITEM	1,373	6,890	6,890
	11.000 SHERIFF (STAFF AND HOLDING)	11,545	12,851	1,306
	TOTAL (DGSF)	148,216	186,854	30,608

EAST VOLUSIA COUNTY SPACE NEEDS SUMMARY

	SPACE	EXISTING 2017(DGSF)	NEW 2035 (DGSF)
	1. BUILDING ENTRY AND SECURITY	4,123	8,114
	2. CLERK OF THE CIRCUIT COURT	14,873	26,107
	3. COURT SETS	35,626	67,615
	4. CHAMBERS	13,975	19,359
	5. LAW LIBRARY	1,526	2,008
	6. COURT ADMINISTRATION (CASE MANAGEMENT/SELF HELP / GENERAL MAGISTRATE/TEEN COURT)	2,442	4,853
	7. COURT ADMINISTRATION	11,628	10,302
	8. STATE ATTORNEY	27,770	35,901
	9. PUBLIC DEFENDER	13,484	20,412
	A. PUBLIC DEFENDER (APPEALS)	8,371	11,837
	10. GUARDIAN AD LITEM	3,586	6,782
	11. SHERIFF (STAFF AND HOLDING)	11,164	12,851
	G. GOVERNMENT SERVICES	21,982	20,900
	TOTAL DGSF	170.550	247.041

EAST VOLUSIA COUNTY DEPARTMENT SPACE SUMMARY

Number	Space	NSF	Depart. Grossing	DGSF		Total (DGSF)	BGSF
1.000 - BUILDING ENTRANCE, SECURITY SCREENING, AND PUBLIC LOBBY						8,114	10,953
1.100	Entrance and Security Screening	1,370	137	1,507			2,034
1.200	Public Lobby and First Floor Circulation	2,340	234	2,574			3,475
1.300	Public Shared	32	10	42			56
1.400	Building and Staff Shared	750	696	975			1,316
1.500	Upper Floor Service Core (4 upper floors, reduce or increase)	2,320	696	3,016			4,072
2.000 - CLERK OF THE CIRCUIT COURT						26,107	35,245
2.100	Civil Division	2,656	1,062	3,718			5,020
2.200	Probate Division	-	-	-			-
2.300	Family/Juvenile Division	2,980	1,192	4,172			5,632
2.400	Traffic / Criminal Divisions	5,697	2,279	7,976			10,767
2.500	Staff Shared	2,269	681	2,950			3,982
2.600	Petit Jury Assembly	5,832	875	6,707			9,054
2.700	Petit Jury Services	433	152	585			789
3.000 - COURT SETS		<i>each</i>	<i>each</i>	<i>each</i>	22	67,615	91,280
3.100	Large Trial Court Set	3,662	1,025	4,687	2	9,375	12,656
3.200	Standard Trial Court Set	3,402	953	4,355	8	34,836	47,029
3.300	Small Trial Court Set (Juvenile/Family)	2,380	666	3,046	2	6,093	8,225
3.400	Small Trial Court Set (Civil)	2,592	726	3,318	2	6,636	8,958
3.500	Traffic Court Set	2,900	812	3,712	-	-	-
3.600	Hearing/Mediation Room (Civil, Probate, Family)	1,043	292	1,334	8	10,675	14,412
4.000 - CHAMBERS		<i>each</i>	<i>each</i>	<i>each</i>		19,359	26,135
4.100	Judicial Chambers	555	194	749	21		21,241
4.200	Shared Judicial Areas	2,685	940	3,625			4,893
5.000 - LAW LIBRARY						2,008	2,711
5.100	Law Library	1,300	195	1,495			2,018
5.200	Law Library Staff Areas	380	133	513			693
6.000 - COURT ADMINISTRATION (CASE MANAGEMENT/SELF HELP/GENERAL MAGISTRATE/TEEN COURT)						4,853	6,551
6.100	Public Waiting/Reception Areas	740	222	962			1,299
6.200	Case Management/Self Help Staff Areas	524	183	707			955
6.300	General Magistrate/Hearing Officers/Teen Court	1,788	626	2,414			3,259
6.400	Shared Staff Areas	570	200	770			1,039
7.000 - COURT ADMINISTRATION						10,302	13,907
7.100	General Admin/Finance/Public Information	2,085	730	2,815			3,800
7.200	Court IT/Digital Court Reporting/Interpreter Services	1,388	486	1,874			2,530
7.300	Shared Staff Areas	570	200	770			
7.400	Drug Court Support / Pretrial Services / Urinalysis Suite	3,588	1,256	4,844			6,539
8.000 - STATE ATTORNEY						35,901	48,466
8.100	State Attorney Public Entrance and Deposition Space	2,020	505	2,525			
8.200	State Attorney Staff Work Areas	17,240	6,034	23,274			
8.300	State Attorney Homicide Division	2,440	854	3,294			
8.400	State Attorney IT Department	1,196	419	1,615			
8.500	State Attorney Administrative Suite (South)	715	215	930			
8.600	State Attorney Shared Office Areas	3,280	984	4,264			
9.000 - PUBLIC DEFENDER						20,412	27,556
9.100	Public Entrance and Deposition/Meeting Space	1,616	485	2,101			
9.200	Staff Work Areas	7,906	2,767	10,673			
9.300	First Appearance Division	740	259	999			
9.400	Shared Office Areas	4,918	1,721	6,639			
10.000 - GUARDIAN AD LITEM						6,782	9,156
10.100	Guardian Ad Litem	5,024	1,758	6,782			9,156
11.000 - SHERIFF (STAFF AND HOLDING)						12,851	17,349
11.100	Sheriff Staff Areas	3,656	1,097	4,753			6,416
11.200	In-Custody Transfer/Control	2,655	1,195	3,850			5,197
11.300	Holding	2,930	1,319	4,249			5,735
Summary		115,167	37,461	152,157		214,304	289,310

Summary - Outside Areas (RSF)

Number	Space	NSF	Departmental Grossing	DGSF		Total (DGSF)	RSF
A.000 - PUBLIC DEFENDER (APPEALS DIVISION)						11,837	11,837
A.100	Public Entrance	1,096	329	1,425			
A.200	Staff Work Areas	5,948	2,082	8,030			
A.300	Shared Office Areas	1,765	618	2,383			

226,141

EAST VOLUSIA COUNTY SPACE PROGRAM

1.000 BUILDING ENTRANCE, QUEUING, AND SECURITY

Space #	Space Name	Program Occupants	Program Quantity	Space Standard (NSF)	Net Square Feet	Comments
1.000 - BUILDING ENTRANCE, SECURITY SCREENING, AND PUBLIC LOBBY						
1.100 Entrance and Security Screening						
1.101	Entrance Vestibule		2	80	160	Two sets of double doors for ingress
1.102	Exit Vestibule		1	80	80	Egress only
1.103	Building General Storage		1	150	150	Adj. to entrance vestibule. Floor mats, wet floor signs, etc.
1.104	Security Queuing		1	400	400	Outside security screening
1.105	Security Screening Station		2	200	400	2 magnetometer/xray setups, standing area for 2-3 staff
1.106	Pat Down Area		1	40	40	Outside security; chair, table, curtain
1.107	Building Central Security Control		1	140	140	
1.108	Gun Locker		1	8	-	Inside Central Control
Total Area (NSF)					1,370	
Dept. Gross @ 10%					137	
TOTAL AREA (DGSF)					1,507	
1.200 Public Lobby and First Floor Circulation						
1.201	Public Lobby		2	600	1,200	Signage, double height. Adjacent to Public Shared
1.202	Facility Security Officer Public Information		1	100	-	Inside lobby
1.203	Public Elevators		3	80	240	
1.204	Staff Elevator		1	100	100	Includes small vestibule; behind secure barrier.
1.205	Public Restrooms (High volume areas)		2	400	800	Placeholder, size in design
1.206	Public Restrooms (Lower volume areas)		0	160	0	Placeholder, size in design
1.207	Janitor's Closet		1	50	50	
Total Area (NSF)					2,340	
Dept. Gross @ 10%					234	
TOTAL AREA (DGSF)					2,574	
1.300 Public Shared						
1.202	Vending Machines		4	8	32	Inside cafeteria area. Adjacent to Public Lobby
1.203	Public Cafeteria Seating Area		0	1000	0	First floor location, windows, plants, double height
Total Area (NSF)					32	
Dept. Gross @ 25%					10	
TOTAL AREA (DGSF)					42	
1.400 Building and Staff Shared						
1.208	Maintenance Storage		1	200	200	
1.209	Elevator Machine Room		4	100	400	First floor location
1.210	Fire Pump Room		1	150	150	
1.211	Staff Lounge		0	700	0	All staff shared, indoor windowed seating area
1.212	Large Training Room		0	1000	0	Shared Training Room, in staff secure area
Total Area (NSF)					750	
Dept. Gross @ 25%					225	
TOTAL AREA (DGSF)					975	
1.500 Upper Floor Service Core (4 upper floors, reduce or increase as needed)						
1.501	Public Restrooms		8	240	1,920	Placeholder, size in design
1.502	Janitorial/ Facilities Storage		8	50	400	Floor drain, bucket filler faucet, mop hangers. Distribute.
Total Area (NSF)					2,320	
Dept. Gross @ 25%					696	
TOTAL AREA (DGSF)					3,016	
Total Area (NSF)					6,780	
TOTAL AREA (DGSF)					8,072	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

2.000 CLERK OF THE COURT

Space #	Space Name	Program Occupants	Program Quantity	Space Standard (NSF)	Net Square Feet	Comments
2.000 - CLERK OF THE CIRCUIT COURT						
2.100 Civil Division						
2.101	Interior Public Queuing		1	150	150	Can be combined with corridor or other public spaces
2.102	Public Use Terminals		4	8	32	Combined with public queuing area
2.103	Marriage Ceremony Room		1	200	200	adjacent to public circulation
2.104	Customer Service Windows (public)		6	15	90	Public side of customer service counter
2.105	Front Counter Staff	6	1	64	384	Sit down stations
2.106	Front Counter Scanners		6	20	-	Included in counter workstation areas
2.107	Clerk's Office (Satellite)	1	1	240	240	Also ad hoc conference room
2.108	Supervisor	1	1	120	120	
2.109	Deputy Clerk - Civil Division	16	1	45	720	Workstations (12 now plus 6 expansion)
2.110	Accounting Room	1	1	120	120	Private office for security/confidentiality
2.111	Active Files/Supply/Storage/Work Area		1	200	200	cabinets with work surface, area divider + files
2.112	Evidence Vault		1	120	120	
2.113	Small Conference Room		1	120	120	
2.114	Work/ Copy/ Printing Area		4	40	160	Carts/stations located throughout the office

Total Area (NSF) 2,656
 Dept. Gross @ 40% 1,062
TOTAL AREA (DGSF) 3,718

2.200 Probate Division						
2.201	Interior Public Queuing		0	0	0	No space provided in East County.
2.202	Customer Service Windows (public)		0	0	0	
2.203	Front Counter Staff		0	0	0	
2.204	Supervisor - Probate Division		0	0	0	
2.205	Deputy Clerks - Probate Division		0	0	0	
2.206	Active Files		0	0	0	
2.207	Work/ Copy/ Printing Area		0	1	0	

Total Area (NSF) 0
 Dept. Gross @ 40% 0
TOTAL AREA (DGSF) 0

2.300 Family/Juvenile Division						
2.301	Interior Public Queuing		1	150	150	Can be combined with corridor or other public spaces
2.302	Public Use Terminals		2	8	16	Combined with public queuing area
2.303	Customer Service Windows (public)		6	15	90	Public side of customer service counter
2.304	Injunction Room		2	100	200	Includes public and staff side, secure entry
2.305	Front Counter Staff	6	1	64	384	Sit down stations
2.306	Front Counter Scanners		6	20	-	Included in counter workstation areas
2.307	Supervisor - Family/Juvenile Division	1	1	120	120	
2.308	Deputy Clerks - Family/ Division/Juvenile	20	1	64	1,280	18 now, plus 2 expansion workstations
2.309	Active Files/Supply/Storage/Work Area		1	200	200	Open area behind workstation area
2.310	Evidence Vault		1	60	60	
2.311	Medium Conference Room		1	240	240	
2.312	Work/ Copy/ Printing Area		6	40	240	Printer carts/stations located throughout the office, per 2 clerks

Total Area (NSF) 2,980
 Dept. Gross @ 40% 1,192
TOTAL AREA (DGSF) 4,172

EAST VOLUSIA COUNTY SPACE PROGRAM

2.000 CLERK OF THE COURT

2.400	Traffic / Criminal Divisions					
2.401	Cashier Windows (walk-up)		1	20	20	Public Side. Two exterior walk-up windows
2.402	Cashier Windows (walk-up)		1	15	15	Public Side. Two pay windows for inside customers.
2.403	Interior Public Queuing		1	150	150	Can be combined with corridor or other public spaces
2.404	Public Use Terminals		4	8	32	Combined with public queuing area
2.405	Front Counter Staff		8	64	512	Sit down stations
2.406	Front Counter Scanners		6	20	-	Included in counter workstation areas
2.407	Supervisor - Front Counter/Cashiers	1	1	120	120	Private Office
2.408	Deputy Clerks - Traffic/ Criminal Misdemeanor	38	1	45	1,710	Staff Workstations (34 now plus 4 expansion)
2.409	Supervisor - Internal Staff and Courts	2	1	120	240	Private Office
2.410	Deputy Clerks - Criminal Felony	27	1	45	1,215	Staff Workstations - 20 now, allows increase of 4
2.411	Project Specialist	2	1	120	240	Serves East and West County
2.412	Accounting Room		1	120	120	Includes vault for money. Lockable
2.413	Secured Evidence Room - Criminal		1	800	800	Secure. Access to staff circulation.
2.414	Active Files		1	800	800	Use for future expansion as the need for files goes away
2.415	Mail Station		1	12	12	Large counter, postage machine, date stamp machine
2.416	Printer Stations (small printers)		10	4	40	Placed around the office in convenient locations, shared.
2.417	Microfilm Machines		2	40	80	Centralized Location
2.418	Work/ Copy/ Printing Area		4	80	320	Large high-volume copier/printer, supplies

Total Area (NSF) 5,697
 Dept. Gross @ 40% 2,279
TOTAL AREA (DGSF) 7,976

2.500	Staff Shared					
2.501	Coffee Bar / Galley		3	15	45	One per division area
2.502	Lunch/break area		3	150	450	Kitchen/break room, may be centralized
2.503	Staff Restrooms		6	160	960	Two per division
2.504	Large Conference Room (shared all divisions)		1	450	450	Clerk use only, shared by all divisions. Place in Criminal.
2.505	Information Tech Training Room		12	25	300	IT Workstations plus conference/meeting/training
2.506	IT Workstation	1	1	64	64	

Total Area (NSF) 2,269
 Dept. Gross @ 30% 681
TOTAL AREA (DGSF) 2,950

2.600	Petit Jury Assembly					
2.601	Juror Entrance/Check-In Counter (juror side)		1	60	60	Juror Side, three counter windows
2.602	Queuing		1	300	300	Queuing
2.603	Paperwork / Forms area		8	5	40	Side counter for completing forms, room for 8 people
2.604	Public Use Terminals		4	8	32	Combined with public queuing area
2.605	Jury Assembly		300	12	3,600	300 jurors, Movable chairs, carrels, separate "areas"
2.606	Juror Lounge		50	20	1,000	50-100. Café style; comfy chairs; outlets for laptops
2.607	Juror Locker Area / Alcove (Unit area per locker)		200	1	200	One cubic foot cube lockers. Inside Juror Lounge
2.608	Juror Restrooms		2	300	600	Greater fixture count / SF for females. Size in design.

Total Area (NSF) 5,832
 Dept. Gross @ 15% 875
TOTAL AREA (DGSF) 6,707

2.700	Petit Jury Services					
2.701	Juror Check-in Counter (staff side)		1	60	60	3 counter stations
2.702	Jury Coordinator	1	1	120	120	Private Office
2.703	Jury Clerks	3	1	36	108	Temporary staff Workstations, shared area
2.704	Forms Storage		1	45	45	Storage closet or area form paper forms, bulk juror supplies
2.705	Copy/work/ print area		1	80	80	Includes Supply Storage for copier, office supplies
2.706	Coffee/Beverage/Microwave Station		1	20	20	

Total Area (NSF) 433
 Dept. Gross @ 35% 152
TOTAL AREA (DGSF) 585

Total Area (NSF)	19,867	
TOTAL AREA (DGSF)	26,107	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

3.000 COURT SETS

Space #	Space Name	Program Occupants	Program Quantity	Space Standard (NSF)	Net Square Feet	Comments
3.000 - COURT SETS						
3.100	Large Trial Court Set					
3.101	Public Waiting	1	1	200	200	Pro-Rata Share of public waiting along corridor
3.102	Soundlock/Vestibule	1	1	80	80	double doors, for noise abatement
3.103	Attorney/Client Meeting Room	1	2	150	300	soundproof, off of vestibule
3.104	Large Courtroom	1	1	2,200	2,200	One is for Traffic Court
3.105	Equipment Storage	1	2	20	40	Door into courtroom. One for defense, one for prosecution. Lockable.
3.106	Holding Cell - Small	1	1	80	80	Stainless Steel Combo Unit
3.107	Holding Cell - Group	1	1	120	120	For 6-8 defendants. Shared by two court sets. Included @ 50%
3.108	In-custody Elevator/Vestibule	1	1	60	60	Shared by two court sets. Included @ 50%
3.109	Jury Deliberation Room	16	1	25	400	14-person jury. Table, chairs, easel, white board, tack strips
3.110	Jury Deliberation Vestibule	1	1	40	40	
3.111	Jury Toilets	1	2	65	130	
3.112	Jury Beverage Station	1	1	12	12	Can be inside jury deliberation room. Plumbed

Total Area (NSF)	3,662
Dept. Gross @ 28%	1,025
	4,687
Need: 2	9,375

3.200	Standard Trial Court Set					
3.201	Public Waiting	1	1	200	200	Pro-Rata Share of public waiting along corridor
3.202	Soundlock/Vestibule	1	1	80	80	double doors, for noise abatement
3.203	Attorney/Client Meeting Room	1	2	120	240	soundproof, off of vestibule
3.204	Standard Courtroom	1	1	2,000	2,000	
3.205	Equipment Storage	1	2	20	40	Door into courtroom. One for defense, one for prosecution. Lockable.
3.206	Holding Cell - Small	1	1	80	80	Stainless Steel Combo Unit
3.207	Holding Cell - Group	1	1	120	120	For 6-8 defendants. Shared by two court sets. Included @ 50%
3.208	In-custody Elevator/Vestibule	1	1	60	60	Shared by two court sets. Included @ 50%
3.209	Jury Deliberation Room	16	1	25	400	14-person jury. Table, chairs, easel, white board, tack strips
3.210	Jury Deliberation Vestibule	1	1	40	40	
3.211	Jury Toilets	1	2	65	130	
3.212	Jury Beverage Station	1	1	12	12	Can be inside jury deliberation room. Plumbed

Total Area (NSF)	3,402
Dept. Gross @ 28%	953
	4,355
Need: 8	34,836

3.300	Small Trial Court Set (Juvenile/Family)					
3.301	Public Waiting	1	1	200	200	Pro-Rata Share of public waiting along corridor
3.302	Soundlock/Vestibule	1	1	80	80	double doors, for noise abatement
3.303	Attorney/Client Meeting Room	1	2	120	240	soundproof, off of vestibule
3.304	Small Trial Courtroom	1	1	1,600	1,600	
3.305	Equipment Storage	1	2	20	40	Door into courtroom. One for defense, one for prosecution. Lockable.
3.306	Holding Cell - Small	1	2	80	160	Stainless Steel Combo Unit
3.307	In-custody Elevator/Vestibule	1	1	60	60	Shared by two court sets. Included @ 50%

Total Area (NSF)	2,380
Dept. Gross @ 28%	666
	3,046
Need: 2	6,093

EAST VOLUSIA COUNTY SPACE PROGRAM

3.000 COURT SETS

3.400	Small Trial Court Set (Civil)					
3.401	Public Waiting	1	1	200	200	Pro-Rata Share of public waiting along corridor
3.402	Soundlock/Vestibule	1	1	80	80	double doors, for noise abatement
3.403	Attorney/Client Meeting Room	1	2	120	240	soundproof, off of vestibule
3.404	Small Civil Courtroom	1	1	1,600	1,600	
3.405	Equipment Storage	1	2	20	40	Door into courtroom. One for defense, one for prosecution. Lockable.
3.406	Jury Deliberation Room	10	1	25	250	7-person jury. Table, chairs, easel, white board, tack strips
3.407	Jury Deliberation Vestibule	1	1	40	40	
3.408	Jury Toilets	1	2	65	130	
3.409	Jury Beverage Station	1	1	12	12	Can be inside jury deliberation room. Plumbed

Total Area (NSF) 2,592
Dept. Gross @ 28% 726

3,318

Need: 2 **6,636**

3.500	Traffic Court Set					
3.501	Public Waiting	1	1	200	200	Pro-Rata Share of public waiting along corridor
3.502	Soundlock/Vestibule	1	1	80	80	double doors, for noise abatement
3.503	Attorney/Client Meeting Room	1	2	120	240	soundproof, off of vestibule
3.504	Large Courtroom	1	1	2,200	2,200	
3.505	Equipment Storage	1	2	20	40	Door into courtroom. One for defense, one for prosecution. Lockable.
3.506	Holding Cell - Small	1	1	80	80	Stainless Steel Combo Unit
3.507	In-custody Elevator/Vestibule	1	1	60	60	Shared by two court sets. Included @ 50%

Total Area (NSF) 2,900
Dept. Gross @ 28% 812

3,712

Need: 0 **0**

3.600	Hearing/Mediation Room (Civil, Probate, Family)					
3.601	Public Waiting	1	1	200	200	Pro-Rata Share of public waiting along corridor
3.602	Soundlock/Vestibule	1	1	80	80	double doors, for noise abatement
3.603	Breakout/Mediation Room	1	0.35	350	123	Shared by 2-3 hearing rms. Doors to hearing room and public corridor
3.604	Hearing Room	1	1	600	600	Can be as small as 800 NSF depending on shape.
3.605	Equipment Storage	1	1	40	40	Inside hearing room

Total Area (NSF) 1,043
Dept. Gross @ 28% 292

1,334

Need: 8 **10,675**

Mediation Rooms:
2.8

Total Area (NSF)	52,824	
TOTAL AREA (DGSF)	67,615	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

4.000 CHAMBERS

Space #	Space Name	Persons or Items Per Area	Number of Areas	Space Standard (NSF)	Net Square Feet	Comments
4.000 - CHAMBERS						
4.100	Judicial Chambers					
4.101	Chambers	1	1	350	350	Includes private toilet
4.102	Judicial Assistant	1	1	180	180	
4.103	Storage	1	1	25	25	
Total Area (NSF)					555	
Dept. Gross @ 35%					194	
					749	
Need: 21					15,734	
4.200	Shared Judicial Areas					
4.201	Judicial Elevator		2	100	200	Includes vestibule. Assumes two separate vertical paths of judicial circulation
4.202	Printer/Copier Area		10	40	400	One per two chambers, allocated in judicial areas
4.203	Galley		5	25	125	One per 3-4 judges, allocated as needed in judicial areas
4.204	Judicial Conference/Law Library		4	400	1,600	may be divided into more rooms; allocate as needed among judges
4.205	Staff Toilet		6	60	360	one per 3-4 judges, unisex toilets, allocated as needed in judicial areas
					-	
Total Area (NSF)					2,685	
Dept. Gross @ 35%					940	
					3,625	
Total Area (NSF)					14,340	
TOTAL AREA (DGSF)					19,359	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

5.000 LAW LIBRARY

Space #	Space Name	Persons or Items Per Area	Number of Areas	NSF Space Standard	Square Feet	Comments
5.000 - LAW LIBRARY						
5.100	Law Library					
5.101	Vestibule		1	20	20	Single door entry
5.102	Computer Stations		4	12	48	3 computers, one TV
5.103	Research/Training Area		1	400	400	Movable tables, chairs, pull-down screen, projector area
5.104	Reading Carrels		4	8	32	Along back wall of Research/Training Area
5.105	Stacks		1	800	800	Reinforced for high density shelving
Total Area (NSF)					1,300	
Dept. Gross @ 15%					195	
					1,495	
5.200	Law Library Staff Areas					
5.201	Customer Service Windows	2	1	45	90	Full-time workstations behind windows to library; blinds
5.202	Private Office	1	1	100	100	Window with blinds to library
5.203	Staff Work Area		1	150	150	Work-bench style counter w/ printers, other equipment
5.204	Staff Break		1	40	40	Fridge, sink in work area; windows with blinds to library
Total Area (NSF)					380	
Dept. Gross @ 35%					133	
					513	
Total Area (NSF)					1,680	
TOTAL AREA (DGSF)					2,008	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

6.000 COURTS ADMINISTRATION (CASE MGT. / SELF HELP / GENERAL MAG. / TEEN COURT)

Space #	Space Name	Persons or Items Per Area	Number of Areas	NSF Space Standard	Square Feet	Comments
6.000 - COURT ADMINISTRATION (CASE MANAGEMENT/SELF HELP/GENERAL MAGISTRATE/TEEN COURT)						
6.100 Public Waiting/Reception Areas						
6.101	Vestibule		1	20	20	Single door entry
6.102	Mediation/Teen Court Waiting		1	200	200	Small waiting area. Window to staff areas
6.103	Self-Help Walk-Up Area		2	20	40	Two walk up Self Help windows
6.104	Public Restrooms		2	65	130	
6.105	Mediation/Conference Room		1	350	350	Can be used for mediation, teen court, or meetings
Total Area (NSF)					740	
Dept. Gross @ 30%					222	
					962	
6.200 Case Management/Self Help Staff Areas						
6.201	Case Mgt/Self Help Windows		2	12	24	Staff side of walk-up windows
6.202	Case Mgt/Self Help Work Area (staff side)	1	1	180	180	One large office or work area with view to walk-up area
6.203	Case Mgt/Self Help Staff Workspaces	4	1	80	320	Shared rm w/ workstations. Buffered view to walk up area
Total Area (NSF)					524	
Dept. Gross @ 35%					183	
					707	
6.300 General Magistrate/Hearing Officers/Teen Court						
6.301	General Magistrate/Mediator	2	1	240	480	
6.302	Hearing Officer	2	1	240	480	
6.303	Supporting Staff Offices	4	1	120	480	One per GM/Mediator/Hearing Officer. Can be shared
6.304	Teen Court Coordinator	1	1	120	120	Private Office
6.305	Court Service Officer	2	1	64	128	
6.306	Storage		4	25	100	
Total Area (NSF)					1,788	
Dept. Gross @ 35%					626	
					2,414	
6.400 Shared Staff Areas						
6.401	Photocopy/Work Area		1	180	180	Large printer/copier, counter, supply storage
6.402	Staff Toilet		2	120	240	
6.403	Staff Break		1	150	150	Shared with other staff in similar building area
Total Area (NSF)					570	
Dept. Gross @ 35%					200	
TOTAL AREA (DGSF)					770	
Total Area (NSF)					3,622	
TOTAL AREA (DGSF)					4,853	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

7.000 COURTS ADMINISTRATION

Space #	Space Name	Persons or Items Per Area	Number of Areas	Space Standard	Square Feet	Comments
7.000 - COURT ADMINISTRATION GEN. ADMIN/FINANCE/PUBLIC INFO COURT IT/DIGITAL COURT REPORTING/INTERPRETER DRUG COURT SUPPORT/PRETRIAL/URINALYSIS						
7.100	General Admin/Finance/Public Information					
7.101	Court Administration - Waiting/Reception		1	120	120	Soft waiting, workstation, chairs for 2 visitors
7.102	Large Conference Room (shared)		1	450	450	Scheduled use, all Court Admin groups
7.103	Reception/Administrative Assistant		1	45	45	Inside Public Waiting. May not be staffed.
7.104	Staff Offices	2	1	120	240	Private Office (County Finance/Court Finance in DeLand.)
7.105	Administrative Services Director	1	1	220	220	Private office, seating for 2-3
7.106	Court Communications Officer/HR Manager	1	1	180	180	Private office. One use West County/One use East County.
7.107	Court Administrator	1	1	350	350	Includes private toilet
7.108	Law Clerk	4	1	120	480	
Total Area (NSF)					2,085	
Dept. Gross @ 35%					730	
TOTAL AREA (DGSF)					2,815	
7.200	Court IT/Digital Court Reporting/Interpreter Services					
7.201	CTO	1	1	220	220	Private office, seating for 2-3
7.202	Judicial IS Coordinator	1	1	120	120	Private Office
7.203	Judicial Services Network Coordinator	1	1	120	120	Private Office
7.204	Microcomputer Analyst	2	1	80	160	Large Workstations
7.205	Digital Court Reporters	5	1	64	320	Workstations in one shared room. Noise controls.
7.206	Court Interpreters	2	1	64	128	Workstations in one shared room. Noise controls.
7.207	Server Room		1	240	240	Three dedicated servers. Separate HVAC.
7.208	File Storage		2	40	80	Locking cabinets inside shared room.
Total Area (NSF)					1,388	
Dept. Gross @ 35%					486	
TOTAL AREA (DGSF)					1,874	
7.300	Shared Staff Areas					
7.301	Photocopy/Work Area		1	180	180	Large printer/copier, counter, supply storage
7.302	Staff Toilet		2	120	240	
7.303	Staff Break		1	150	150	Shared with other staff in similar building area
Total Area (NSF)					570	
Dept. Gross @ 35%					200	
TOTAL AREA (DGSF)					770	
7.400	Drug Court Support / Pretrial Services / Urinalysis Suite					
7.401	Main Reception/Waiting		40	10	400	Institutional. Doors to Urinalysis Waiting & Interview Rms
7.402	Urinalysis Reception/Waiting		40	10	400	Institutional. Sound dampened. Waiting for up to 40.
7.403	Drug Court Administrative Assistant (Reception)	1	1	64	64	Check in. Stations at window with view to Main Waiting
7.404	Pretrial Services Staff Assistant (Reception)	1	1	64	64	Check in. Stations at window with view to Main Waiting
7.405	Interview Rooms		4	80	320	From Main Reception. For use by pretrial and Drug Court
7.406	Urinalysis Toilets		4	65	260	Pass-through to lab
7.407	Urinalysis Lab		1	240	240	Pass through from urinalysis toilets. Refrigerator/freezer
7.408	Court Service Officers	1	4	0	-	Workstations inside lab
7.409	Urinalysis Supply Storage		1	45	45	Storage closet adjacent to lab.
7.410	Drug Court Manager	1	1	180	180	Private office, seating for 2-3
7.411	Drug Court Program Specialist	1	1	120	120	Private Office
7.412	Pretrial Senior Court Services Officer	1	1	180	180	Private office, seating for 2-3
7.413	Court Service Officer - Drug Court	2	1	80	160	
7.414	Court Service Officer - Pretrial Services	6	1	80	480	
7.415	Supply Storage Closets		3	45	135	One for each group in this area.
7.416	Photocopy/Work Area		2	150	300	2 large copier/printers, supply storage, file storage, counter
7.417	Staff Restrooms		2	120	240	
Total Area (NSF)					3,588	
Dept. Gross @ 35%					1,256	
TOTAL AREA (DGSF)					4,844	
Total Area (NSF)					7,631	
TOTAL AREA (DGSF)					10,302	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

8.000 STATE ATTORNEY

Space #	Space Name	Persons or Items Per Area	Number of Areas	Space Standard	Square Feet	Comments
8.000 - STATE ATTORNEY						
8.100 State Attorney Public Entrance and Deposition Space						
8.101	Public Waiting		20	25	500	Room with chairs, magazines, tables.
8.102	Reception Area	2	1	90	180	Glazing, pass-throughs, two staff, mail. Cameras
8.103	Large Conference Room		1	400	400	Adjacent to waiting room, for larger meetings
8.104	Small Conference Room		2	200	400	Adjacent to waiting room, for small meetings
8.105	Interview/Deposition Rooms		4	100	400	Adjacent to waiting room. Outside staff secure area
8.106	Child Waiting / Play / Interview Room		1	140	140	Toys. Soft. Glazing to one deposition room. Privacy blinds.
Total Area (NSF)					2,020	
Dept. Gross @ 25%					505	
TOTAL AREA (DGSF)					2,525	
8.200 State Attorney Staff Work Areas						
8.201	Clerical	65	1	64	4,160	
8.202	Chief of Operations	1	1	220	220	Private office, seating for 4-5
8.203	Investigators	14	1	140	1,960	
8.204	Victim Advocates	14	1	140	1,960	
8.205	Attorneys	59	1	140	8,260	Lockable offices for secure file storage
8.206	Scanner Room	2	.5	200	200	Two staff work in this area.
8.207	IT Department	6	1	80	480	
Total Area (NSF)					17,240	
Dept. Gross @ 35%					6,034	
TOTAL AREA (DGSF)					23,274	
8.300 State Attorney Homicide Division						
8.301	Attorneys	6	1	140	840	Lockable offices for secure file storage
8.302	Investigators	2	1	140	280	Lockable offices for secure file storage
8.303	Workstations	4	1	80	320	
8.304	Active File Storage		1	400	400	Lockable
8.305	War Room		1	600	600	Printer/Copier, tack walls, tables, white board
Total Area (NSF)					2,440	
Dept. Gross @ 35%					854	
TOTAL AREA (DGSF)					3,294	
8.400 State Attorney IT Department						
8.401	Reception/Waiting		1	120	120	Small lobby/alcove with walk up window
8.402	Customer Service Window		1	80	80	Two sides of walk up customer service window.
8.403	Staff Workstations	4	1	64	256	Private workstations
8.404	IT Work Area	4	1	80	320	Shared workbench area, cabinets, tools, etc.
8.405	Server Room (dedicated SA systems)		1	180	180	Two servers, separate HVAC system
8.406	Equipment Storage		1	240	240	Large storage for IT equipment
Total Area (NSF)					1,196	
Dept. Gross @ 35%					419	
TOTAL AREA (DGSF)					1,615	
8.500 State Attorney Administrative Suite (South)						
8.501	Formal Reception/Waiting		1	200	200	Comfortable furnishings, dignified setting
8.502	State Attorney Executive Conference Room		1	300	300	May be combined with SA office, or adjacent
8.503	State Attorney Office	1	1	350	350	Includes private toilet
8.504	Chief of Operations (South)	1	1	220	220	Private office, seating for 4-5
8.505	Support Staff	3	1	80	80	
8.506	Supply/ Storage		1	65	65	
Total Area (NSF)					715	
Dept. Gross @ 30%					215	
TOTAL AREA (DGSF)					930	
8.600 State Attorney Shared Office Areas						
8.601	File Storage		1	600	600	Lockable files in lockable room, can be one area
8.602	Photocopy/Scanner/Work Area		2	120	240	Supply cabinets nearby for paper, toner
8.603	Supply Storage		4	65	260	Fixed shelving. Bulk forms, office supplies
8.604	Staff Breakroom		2	240	480	150+ staff. Full size refrigerator, 2 microwaves, sink, DW
8.605	Staff Restrooms		4	200	800	Placeholder, size and place in design
8.606	Staff Training Room/Library		50	18	900	Classroom, presentation wall, tables, computer drops
Total Area (NSF)					3,280	
Dept. Gross @ 30%					984	
TOTAL AREA (DGSF)					4,264	
Total Area (NSF)					26,891	
TOTAL AREA (DGSF)					35,901	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

9.000 PUBLIC DEFENDER

Space #	Space Name	Persons or Items Per Area	Number of Areas	Space Standard	Square Feet	Comments
9.000 - PUBLIC DEFENDER						
9.100 Public Entrance and Deposition/Meeting Space						
9.101	Public Waiting		1	200	200	Room with chairs, magazines, tables. Up to 10 at once.
9.102	Reception Area		1	100	100	Behind glazing, pass-throughs, for two staff. Cameras
9.103	Large Conference Room		1	400	400	Formal, Adjacent to waiting room, for larger meetings
9.104	Small Conference Room/Large Deposition room		1	200	200	Adj. to waiting room, less formal
9.105	Galley beverage service		1	16	16	Inside or near large conference room. Can be on hallway
9.106	Interview/Deposition Rooms		4	140	560	Adj. to waiting room. 4 people minimum
9.107	Child Interview/Child Waiting Room		1	140	140	Toys. Soft. Glazing to one deposition room. Privacy blinds.
					Total Area (NSF)	1,616
					Dept. Gross @ 30%	485
					TOTAL AREA (DGSF)	2,101
9.200 Staff Work Areas						
9.201	Administrative Assistant	1	1	80	80	Private office
9.202	Public Defender	1	1	350	350	Includes private toilet
9.203	Chief Assistant Public Defender	1	1	220	220	Private office, seating for 2-4
9.204	Administrative Director	1	1	220	220	Private office, seating for 2-4
9.205	Chief Investigator	1	1	220	220	Private office, seating for 2-4
9.206	Data Systems Director	1	1	180	180	Private office
9.207	Fiscal Assistant	1	1	180	180	Private office, lockable, for fiscal files
9.208	Assistant Public Defenders	26	1	140	3,640	Private offices, lockable, 2-3 people
9.209	Assistant Public Defenders - Juvenile	4	1.00	140	560	Private offices, lockable, 2-3 people
9.210	Support Staff	19	1	80	1,520	Large workstation, lockable cabinets
9.211	OPS Personnel	6	1	80	480	Workstation, high walls
9.212	Intern/Volunteer/Temporary Staff	4	1	64	256	Standard Workstation
					Total Area (NSF)	7,906
					Dept. Gross @ 35%	2,767
					TOTAL AREA (DGSF)	10,673
9.300 First Appearance Division						
9.301	Assistant Public Defender	1	1	180	180	Private office
9.302	Investigators	4	1	120	480	Private office
9.303	Support Staff	1	1	80	80	Standard Workstation
					Total Area (NSF)	740
					Dept. Gross @ 35%	259
					TOTAL AREA (DGSF)	999
9.400 Shared Office Areas						
9.401	File Storage		1	3,000	3,000	Lockable files in lockable room
9.402	Photocopy/Work Area		2	200	400	Supply cabinets nearby for paper, toner
9.403	Supply Storage		2	45	90	Storage closet w/ fixed shelving. Bulk forms, supplies
9.404	IT Server room		1	180	180	Separate HVAC
9.405	Staff Breakroom		1	240	240	50+ staff. Two refrigerators, 2 microwaves, sink, DW
9.406	Staff Restrooms		2	240	480	Placeholder, size and place in design. Can be shared
9.407	Library/Staff Conference		24	22	528	Library shelves around perimeter, movable tables inside
9.408	Staff Training Room		65	-	-	shared with other building users; not in this area
					Total Area (NSF)	4,918
					Dept. Gross @ 35%	1,721
					TOTAL AREA (DGSF)	6,639
					Total Area (NSF)	15,180
					TOTAL AREA (DGSF)	20,412

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

10.000 GUARDIAN AD LITEM

Space #	Space Name	Persons or Items Per Area	Number of Areas	Space Standard	Square Feet	Comments
10.000 - GUARDIAN AD LITEM						
10.100 Guardian Ad Litem						
10.101	Waiting/Queuing		1	150	150	Camera/control ingress. Soft finishes, toys
10.102	Interview / Private Meeting Room		2	80	160	
10.103	Conference Room/Law Library		1	240	240	10-12 users at once
10.104	Admin Assistant	1	1	64	64	Workstation outside waiting, conf. rm
10.105	Guardian Ad Litem/Circuit Director	1	1	220	220	Private office, chairs for 2-3 staff
10.106	Attorney Staff Offices	10	1	140	1,400	Full-time Staff. Lockable.
10.107	Case Mgr	14	1	120	1,680	Full-time Staff. Lockable.
10.108	Volunteer / Interns Work Office	2	1	45	90	3 to 4 work stations, grouped near workroom
10.109	Photocopy/Printer/File Storage/Work Room		1	200	200	Supply cabinets, work surface. Can be open.
10.110	Storage Room		1	300	300	Fixed Shelves. Bikes/toys/personal items
10.111	Staff Break Room		1	160	160	Refrigerator, sink, table and chairs
10.112	Staff Restroom		2	180	360	Larger female restroom than male.
Total Area (NSF)					5,024	
Dept. Gross @ 35%					1,758	
TOTAL AREA (DGSF)					6,782	
Total Area (NSF)					5,024	
TOTAL AREA (DGSF)					6,782	

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

11.000 SHERIFF (STAFF AND HOLDING)

Space #	Space Name	Persons or Items Per Area	Number of Areas	NSF Space Standard	Square Feet	Comments
11.000 - SHERIFF (STAFF AND HOLDING)						
11.100 Sheriff Staff Areas						
11.101	Public Waiting/Reception		1	100	100	Mostly attorneys
11.102	Interview Booths (attorney/public side)		8	40	320	Public side, includes access & door swing
11.103	Conference Room		1	300	300	up to 15, doubles as formal shift meeting room
11.104	Sergeant	1	2	120	240	
11.105	Deputies	1	4	24	96	Hoteling workstations, printers
11.106	Secure Vestibule		1	200	200	Mailboxes to hall side; sorting tables to inside
11.107	Male Locker Room	40	1	7	280	1' wide lockers with 2' in front around perimeter of room
11.108	Female Locker Room	40	1	7	280	1' wide lockers with 2' in front around perimeter of room
11.109	Male Restroom / Shower		1	220	220	
11.110	Female Restroom / Shower		1	220	220	
11.111	Muster Room		1	600	600	
11.112	Exercise Room		1	800	800	Basic weights, 2-3 cardio machines

Total Area (NSF)	3,656
Dept. Gross @ 30%	1,097
TOTAL AREA (DGSF)	4,753

11.200 In-Custody Transfer/Control						
11.201	Sally Port		1	1000	1,000	Pull through, size for full-size bus to minimize transports
11.202	Transporation Vestibule		1	120	120	
11.203	Central Control	2	1	110	220	160 NSF room w/ officer toilet @ 60 NSF
11.204	Detainee Staging/Transfer Area		1	400	400	Open area, bench seating, for staging in/out and up
11.205	Detainee Toilet		1	65	65	
11.206	Single Cell	2	1	80	160	one wet, one padded, adjacent to sally port
11.207	Janitor's Closet		1	50	50	
11.208	Attorney Interview Booth		8	40	320	One accessible, includes inmate side access
11.209	Changing Alcove		2	20	40	Dressing room, curtained, mirror, for court prep
11.210	Detainee Elevator		2	100	200	Assume two vertical paths of travel
11.211	Detainee Elevator Vestibule		2	40	80	Open into Detainee Staging/Transfer Area

Total Area (NSF)	2,655
Dept. Gross @ 45%	1,195
TOTAL AREA (DGSF)	3,850

11.300 Holding						
11.301	Pedestrian Sally Port		2	140	280	One to male and female sides of holding area
11.302	Male Vestibule		1	100	100	Outside male holding cells
11.303	Male Group Holding (6-8)		4	240	960	wet, capacity 6-8
11.304	Male Single Holding (1)		4	65	260	wet
11.305	Special Male Holding (1)		4	65	260	wet, sight/sound separate on male side
11.306	Female Vestibule		1	100	100	Outside female holding cells
11.307	Female Group Holding (6-8)		2	240	480	wet, capacity 6-8
11.308	Female Single Holding (1)		4	65	260	wet
11.309	Special Holding (flex-gender) (1)		2	65	130	Sight/sound separated from adult males and females
11.310	Special Holding Vestibule		1	100	100	Outside "Special Holding" cells

Total Area (NSF)	2,930
Dept. Gross @ 45%	1,319
TOTAL AREA (DGSF)	4,249

Total Area (NSF)	9,241
TOTAL AREA (DGSF)	12,951

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

EAST VOLUSIA COUNTY SPACE PROGRAM

A.000 PUBLIC DEFENDER (APPEALS)

Space #	Space Name	Persons or Items Per Area	Number of Areas	Space Standard	Square Feet	Comments
A.000 - PUBLIC DEFENDER (APPEALS DIVISION)						
A.100 Public Entrance						
A.101	Public Waiting		1	120	120	Room with chairs, magazines, tables. Up to 6 at once.
A.102	Public Restrooms		2	70	140	Provided in leased building
A.103	Reception Area	1	1	100	100	Behind glazing, pass-throughs, for two staff. Cameras
A.104	Staff Training/Meeting/Conference/Library		48	15	720	All staff meetings, weekly staff lunches
A.105	Galley beverage service		1	16	16	Inside or near large conference room. Can be on hallway.
					Total Area (NSF)	1,096
					Dept. Gross @ 30%	329
						1,425
A.200 Staff Work Areas						
A.201	Receptionist	1	1	80	80	Workstation near lobby
A.202	Assistant Public Defenders - Appeals	32	1	140	4,480	Private office
A.203	Division Chief	1	1	180	180	Private office
A.204	Public Defender's Office (Satellite Office)	1	1	240	240	Satellite, space for conferences up to 6 individual
A.205	Administrative Assistant	1	1	120	120	Private office
A.206	Support Staff	7	1	80	560	Large workstation, lockable cabinets
A.207	OPS Personnel	2	1	80	160	Workstation, high walls
A.208	Intern/Volunteer/Temporary Staff	2	1	64	128	Standard Workstation
					Total Area (NSF)	5,948
					Dept. Gross @ 35%	2,082
						8,030
A.300 Shared Office Areas						
A.301	File Storage		1	800	800	Lockable files in lockable room
A.302	Photocopy/Work Area		1	200	200	Supply cabinets nearby for paper, toner
A.303	Supply Storage		1	65	65	Storage closet with fixed shelving. Bulk forms, supplies
A.304	Staff Breakroom		1	220	220	Required per fair labor standards for all staff.
A.305	Staff Restrooms		2	240	480	in core
					Total Area (NSF)	1,765
					Dept. Gross @ 35%	618
						2,383
					Total Area (NSF)	8,809
					TOTAL AREA (DGSF)	11,837

Refer to section 05.1 Space Needs Program – Space Description for explanation of this space.

02.4.3 Staff parking needs based on program

Staff parking needs were evaluated based current and projected staff for the new courts facility.

The following table below represents the departments and counts used to determine approximately 521 parking space dedicated to staff.

	STAFF
1.000 - BUILDING ENTRANCE, SECURITY SCREENING, AND PUBLIC LOBBY	0
2.000 - CLERK OF THE CIRCUIT COURT	127
Civil Division	26
Probate Division	0
Family/Juvenile Division	27
Traffic / Criminal Divisions	70
Petit Jury Assembly	4
3.000 - COURT SETS	0
4.000 - CHAMBERS	21
5.000 - LAW LIBRARY	0
6.000 - COURT ADMINISTRATION (CASE MANAGEMENT/SELF HELP/GENERAL MAGISTRATE/TEEN COURT)	16
Case Management/Self Help Staff Areas	5
General Magistrate/Hearing Officers/Teen Court	11
7.000 - COURT ADMINISTRATION	35
General Admin/Finance/Public Information	9
Court IT/Digital Court Reporting/Interpreter Services	12
Drug Court Support / Pretrial Services / Urinalysis Suite	14
8.000 - STATE ATTORNEY	188
State Attorney Staff Work Areas	176
State Attorney Homicide Division	12
9.000 - PUBLIC DEFENDER	0
10.000 - GUARDIAN AD LITEM	0
11.000 - SHERIFF (STAFF AND HOLDING)	86
A.000 - PUBLIC DEFENDER (APPEALS DIVISION)	48
TOTAL ESTIMATED STAFF PARKING NEEDS EAST VOLUSIA COUNTY	521

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06

OPTIONS

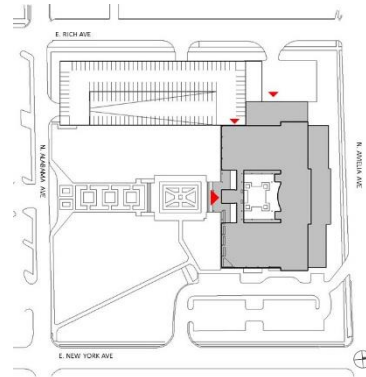
06 OPTIONS

06.1 Overview

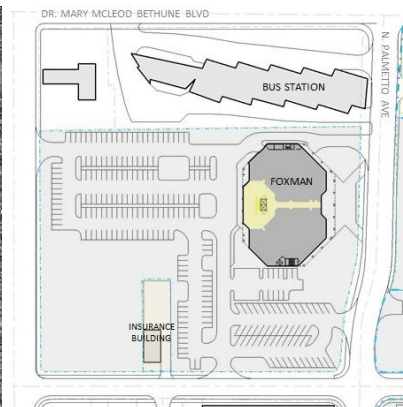
A series of operational options were developed to demonstrate how each concept would accommodate the needs of the court facilities based on the idea of a consolidated courts operation in Daytona Beach, which would mirror the operational efficiencies in DeLand.

Volusia County courts operations consist of two main hubs, DeLand and Daytona Beach, Florida. Satellite locations are located in and around Daytona Beach and a courthouse annex in New Smyrna. The realization of the 12 facilities on nine locations established the need to consolidate the judicial courts system in East Volusia County.

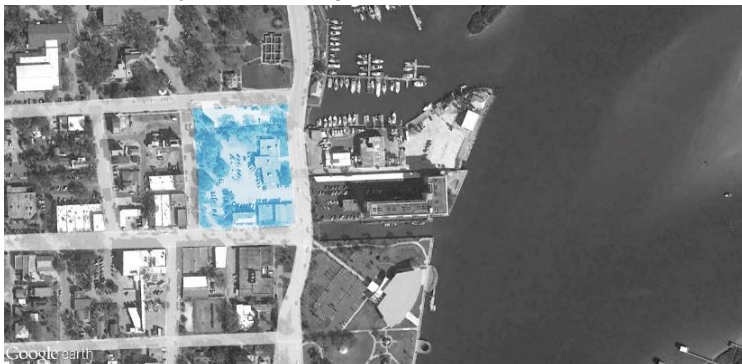
Location Map: DeLand, FL



Location Map: Daytona Beach, FL



Location Map: New Smyrna Beach, FL



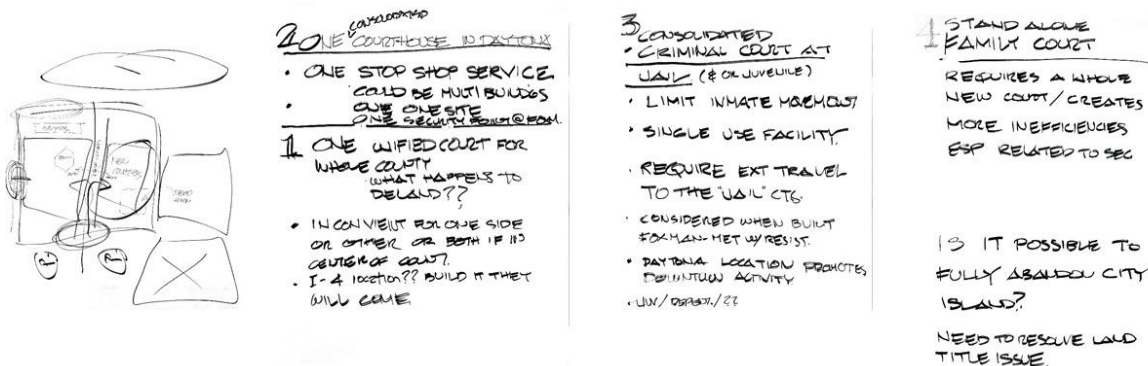
Not all buildings assessed in the building assessment section can be seen in the maps above. The maps show the dispersed nature of the judicial system.

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Three consecutive workshops were conducted to allow the stake holders to engage in the progress of developing a solution that satisfied the needs of the courts and agencies.

At the end of workshop 1, the workshop group was encouraged to openly think and discuss potential opportunities for the future of the Volusia County Courts based on the following parameters.

- Operational efficiency of the courts
- Simplification of the number of buildings
- Future growth
- Resolving non-satisfactory spaces or facilities
- Level of public service



Collective notes from Workshop 1

The discussion lead to a series of six operational concepts that the team would develop and present at Workshop 2. The six operational options can be seen on the following pages which reflect various opportunities that were discussed in Workshop 1. Concepts such as, “one courthouse in Daytona and one courthouse in Deland”, “One consolidated Volusia Courts”, “Criminal courts at the jail”, “Unified Family court”, “S. James Foxman Family courts + new Criminal Addition”, “East County Consolidated outside Daytona Beach”.

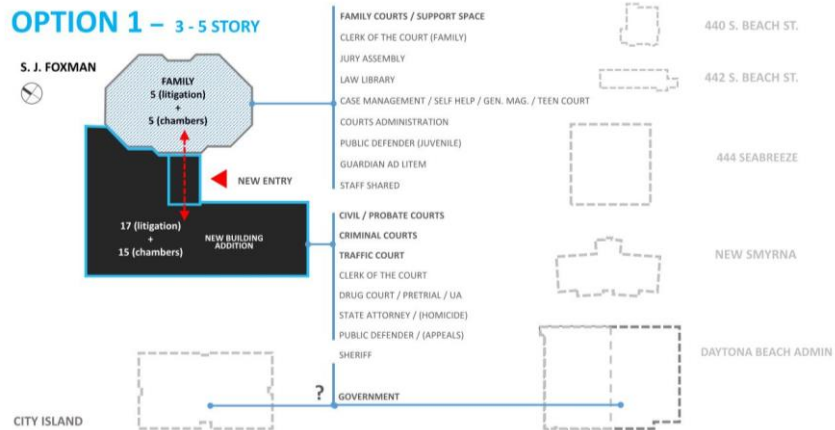
Furthermore, these six Operational Options were presented and discussed in Workshop 2. The team compared the options against the new space needs program, department adjacencies, cost ranges, discussions with the user groups, and the potential reuse of County assets. Thus, all options exhausted the opportunities of the system-wide consolidation, and once presented, the workshop group was encouraged to yet again think and discuss the pros and cons of each option (See Appendices D – Operational Options -Pros & Cons) and select three Operational Options to further develop and present in Workshop 3. The process with the County is documented on the following pages, presenting site concepts and conceptual estimates for the East Volusia County consolidated courthouse.

6.2 Initial Operational Options

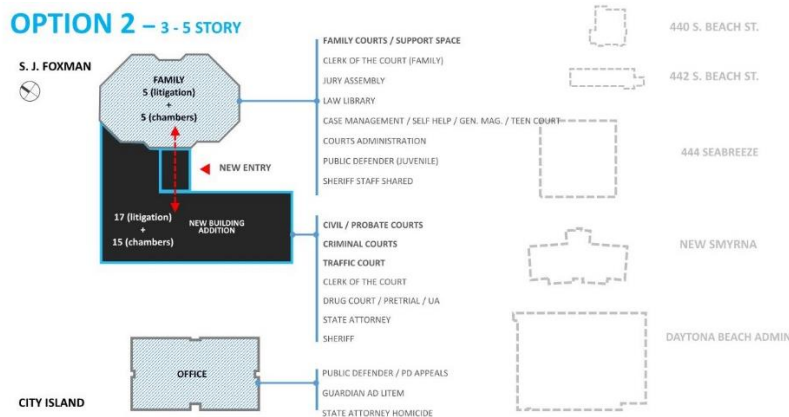
Initially, six Operational Options were presented in workshop 2. These Operational Options explored the various ideas from workshop 1 and county needs on how the county can consolidate the courts operations.

6 OPERATIONAL OPTIONS - EAST

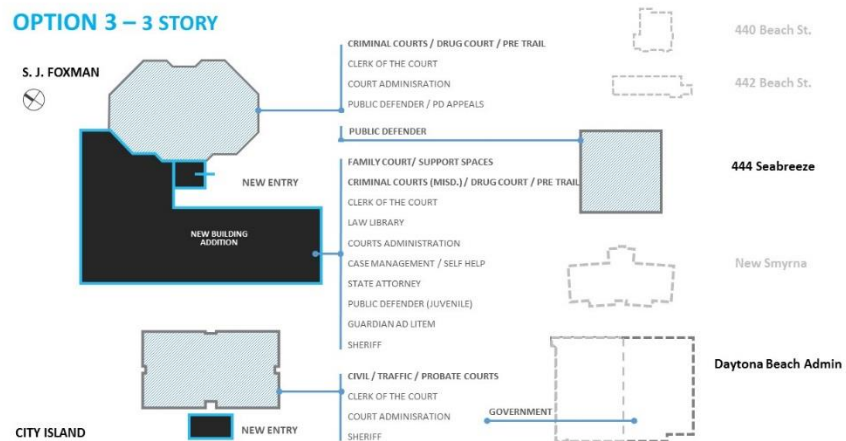
- 1** NEW COURTS ADDITION TO S.J. FOXMAN
+
REUSE S.J. FOXMAN - FAMILY



- 2** NEW COURTS ADDITION TO S.J. FOXMAN
+
REUSE S.J. FOXMAN - FAMILY
+
REUSE CITY ISLAND - OFFICE



- 3** NEW COURTS ADDITION TO S.J. FOXMAN
+
REUSE S.J. FOXMAN - FAMILY
+
REUSE CITY ISLAND - CIVIL

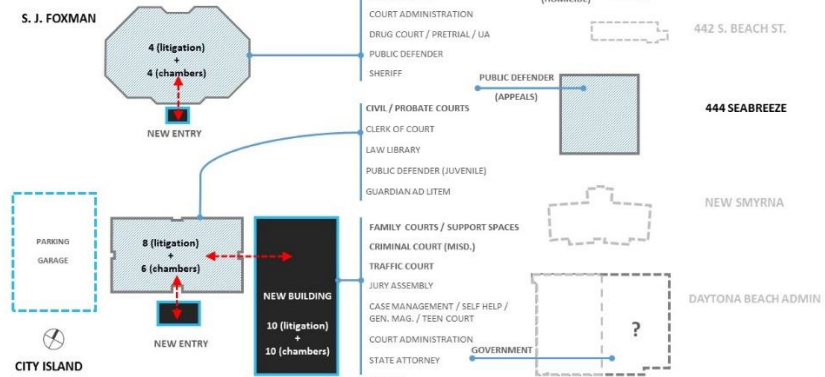


6 OPERATIONAL OPTIONS - EAST

4

NEW COURTS ADDITION TO CITY ISLAND
+
S.J. FOXMAN - CRIMINAL

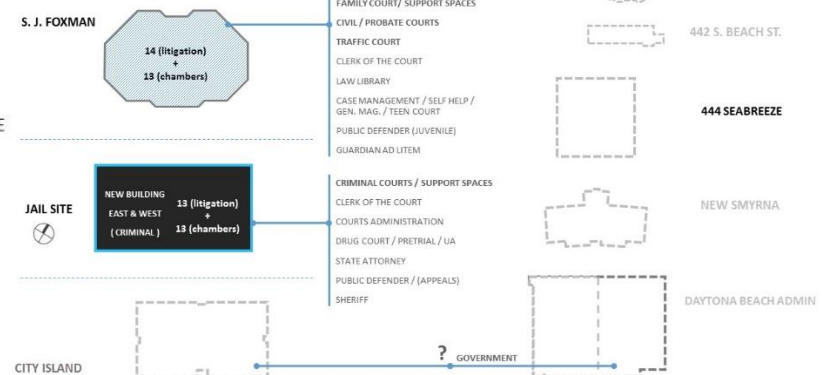
OPTION 4 – 3 - 5 STORY



5

CONSOLIDATED CRIMINAL COURTS AT JAIL / OFFICE SPACE
+
S.J. FOXMAN – FAMILY / CIVIL / TRAFFIC

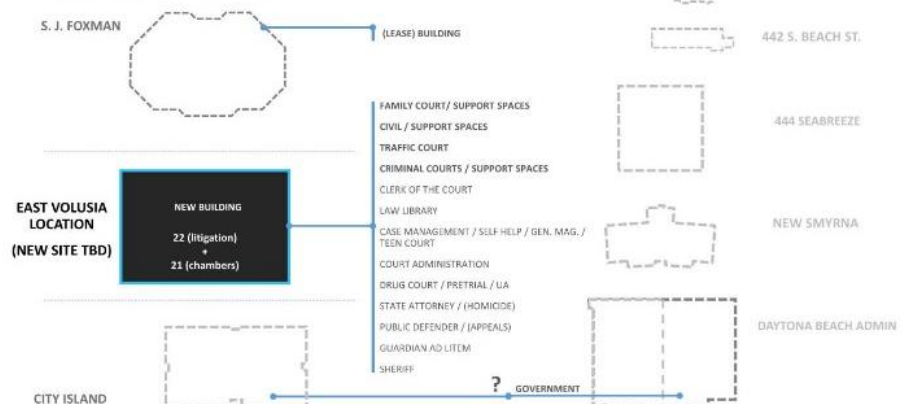
OPTION 5 – 5 - 7 STORY



6

SINGLE NEW COURTHOUSE
IN EAST COUNTY / SITE TBD

OPTION 6 – 5 - 7 STORY



6.3 Eliminated Operational Options

As a team, three Operational Options were eliminated in workshop 2. The following bullet points explain the consensus on why the three Operational Options below were eliminated.

Option **3** – New courthouse addition to S.J. Foxman + Reuse City Island for Office space

- Splits court operations in Daytona Beach
- In-custody delivery in two locations, not an efficient operation.
- Too similar to how the judicial system operates now.
- Splits the courts operations into three county wide locations
- Flexibility concerns due to operations being split.

Option **4** – New courthouse addition to City Island, continue to use S. J. Foxman as Criminal

- Appeared similar to how the judicial system operates now
- Constraints of the site do not provide opportunities for a new facility
- Concerns of double staffing for sheriff operations.

Option **5** – Consolidated criminal courts at jail with office space reuse S. J. Foxman as Family / Civil / Traffic courts.

- Splits the courts operations into three county wide locations.
- Locates the largest program at the jail.
- Initially vacates many litigation spaces leaving significant unused space in the DeLand Courthouse.

6.4 Developed Operational Options

At the conclusion of workshop 2, the team came to a consensus on three options to further study and develop. The selected options consisted of three operational scenarios for the county. The following bullet points explain the pros and cons of each option.

Option 1 – Reused S. J. Foxman with the intent to walk away from other assets in Daytona Beach.

- Courts consolidation in one courthouse campus
- Single secure public entry
- In-custody delivery to one location
- All agencies within one campus

Option 2 – New courts addition at S. J. Foxman, reuse of Foxman for Family Court, and reuse of City Island for court administrative support office space.

- All eastern Court operations are collocated at the S. J. Foxman Courthouse
- Court administrative support functions backfill the City Island Courthouse
- Split operations between City Island Courthouse and Foxman will continue.

Option 6 – Single new east county courthouse in East Volusia County, on to be determined site.

- All courts and supporting agencies in one single building
- Requires a single move for all courts and agencies
- No disruption to courts operations
- Requires identification and acquisition of a new site

06.5 Final Option Selection - East Volusia County Consolidated Courthouse

Option 1, Reuse of the S. J. Foxman Courthouse emerged as the most logical Option to pursue of the 3 final Options. It consolidates all court operations in one location, providing the efficiency and security as realized in the DeLand Courthouse. It also leverages to the greatest extent possible the existing S. J. Foxman Courthouse asset.

Option 2, New Courts Addition to the S. J. Foxman Courthouse and reuse of City Island Courthouse for office space results in split court operations between the two courthouses resulting in operational inefficiencies. This option also requires considerable upgrades to the City Island Courthouse to support continued operations for the courts.

Option 6, New courthouse on a new site, results in the abandonment of all County assets inclusive of the S. J. Foxman Courthouse and requires the identification and acquisition of property in Daytona Beach.

As a result, and by consensus of the stake holders, it was determined that Option 1 was the most effective Option to pursue to meet the court needs as established in the program.

06.6 Analysis of Existing S.J. Foxman Site

Located on the Northern edge of Downtown Daytona Beach, between Ridgewood and North Beach Street, the S. J. Foxman site served as the basis for Option 1 site analysis in East Volusia County.

Surrounding the S.J. Foxman site is county owned property including: 250 Administration building, Daytona Beach Bus Station, and a parking lot located southeast of S. James Foxman. The total buildable area the county owns is approximately 11.3 acres (including Palmetto Ave). The purchase of an additional 2.9 acres of adjacent property could reduce future structured parking needs.

The intent is to reuse S. James Foxman Justice Center as an asset to the consolidation of the courthouse facilities, in East Volusia County.

EXISTING COUNTY PROPERTY

PARKING SUMMARY

MAIN PARKING	250
POND PARKING	0
ADMINISTRATION PARKING	158
SOUTH PARKING	137
(3.3 space / 1,000 sf) EXISTING PARKING	545

ACRE SUMMARY

(NOT INCLUDING FOXMAN FOOTPRINT) MAIN LOT	5.1
POND PARKING	-
ADMINISTRATION LOT	3.7
SOUTH LOT	1.9
SUBTOTAL	10.7
INSURANCE BUILDING LOT	0.21
NORTH LOT	2.8
CLOSING DOWN PALMETTO AVE	0.63
TOTAL	14.3

CURRENT ZONING

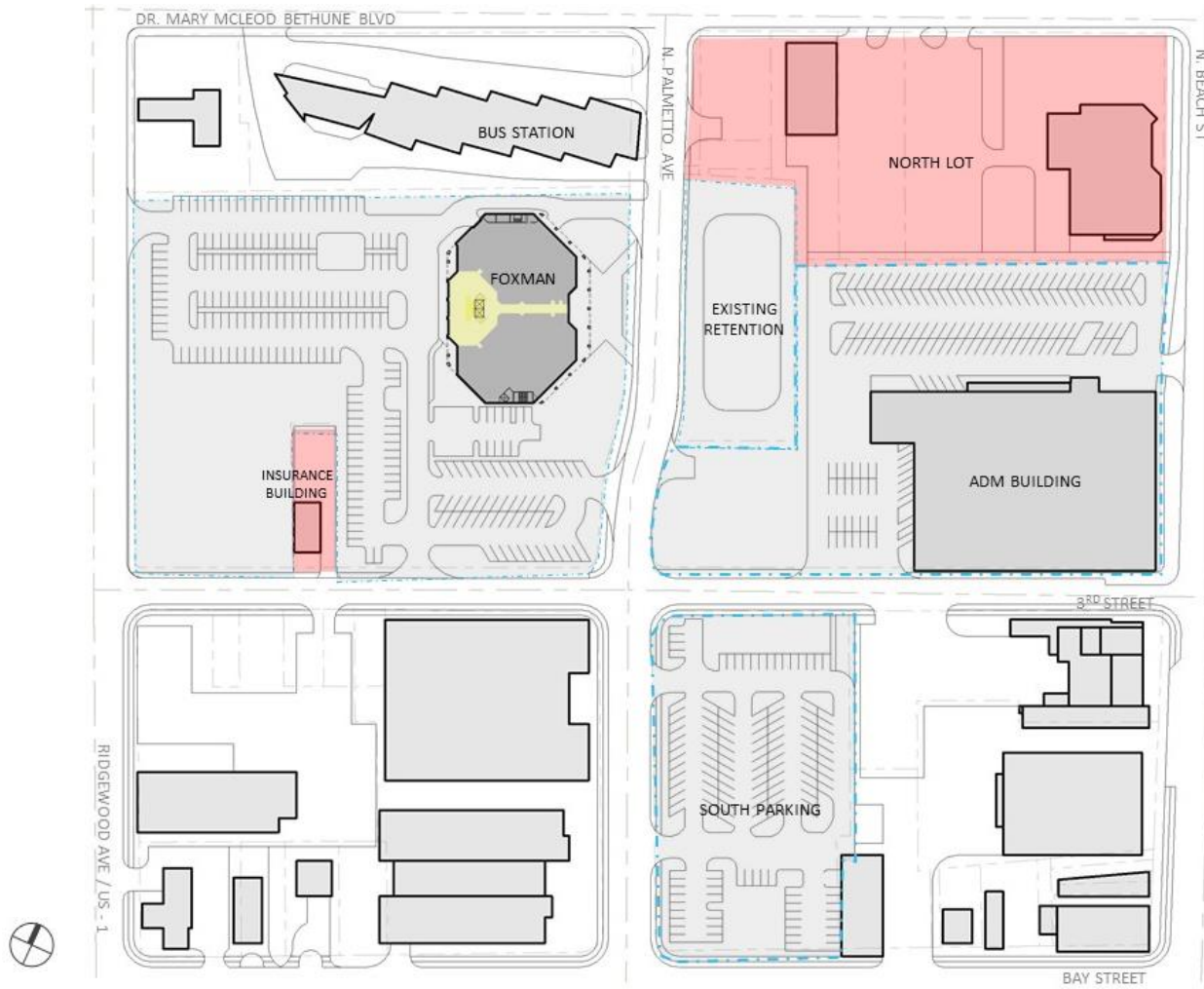
Redevelopment Downtown – Commercial	RDD – 3
Floor Area Ratio (FAR) maximum	3.0

STRUCTURE HEIGHT

Maximum	N / A
---------	-------

SETBACKS

Front yard	N / A
Street side & Interior side yard	N / A
Rear yard	N / A



County Owned Property



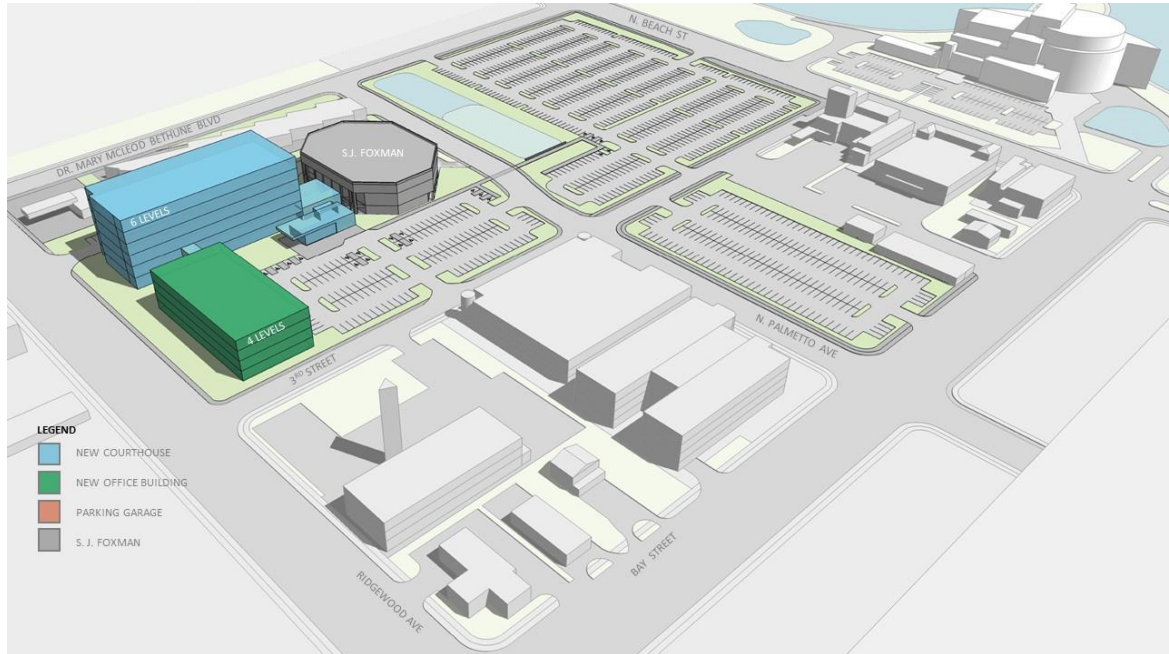
Non-owned county property (potential purchase)

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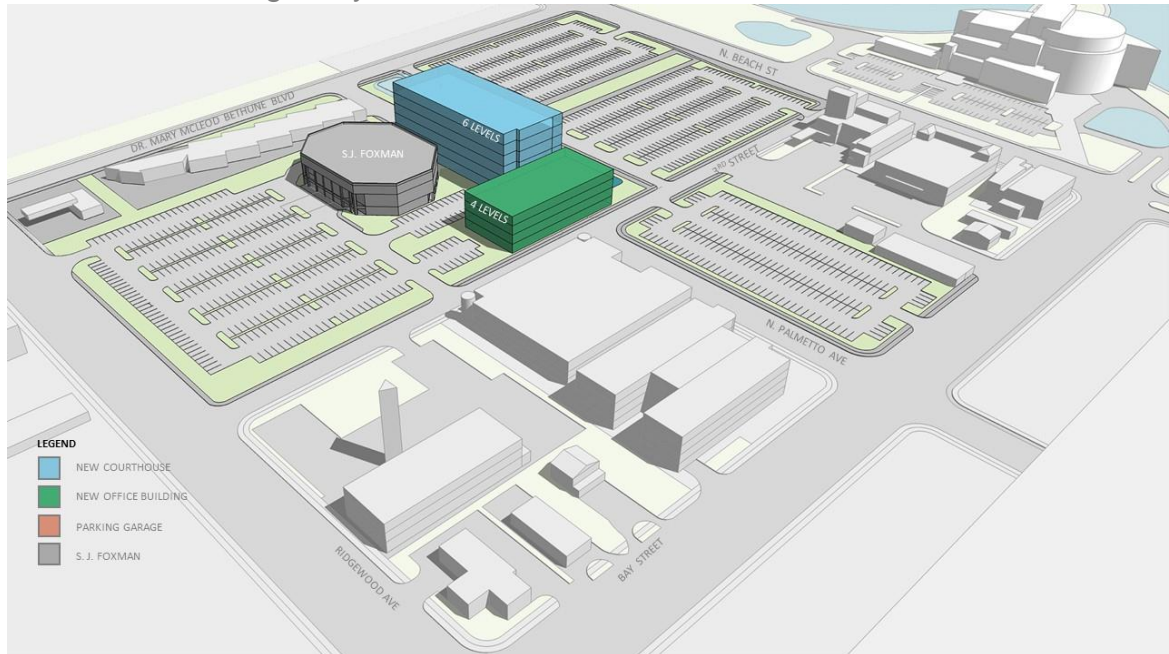
06.6 Option 1 Site Opportunities

Initially, the team studied massing and site options concentrated on the west side of the S. J. Foxman building. The west expansion option proposed a consolidated secure public entry for both existing and new buildings. Through further investigation, the team focused the expansion to the east of S. J. Foxman. Ultimately, three similar east expansion options were developed in response to the county's interest in maximizing the existing property and future expansion of the campus.

West massing study



Initial East massing study



06.7 Final Option 1 Site Concept

In the end, Operational Option 1, reuse of the S. J. Foxman Courthouse with expansion to the east, was the preferred option which resulted from the workshops and consensus of all the stake holders in the master planning process. It consolidates the eastern county court system into one location in East Volusia County.

Sited on county owned property, the preferred site development option reuses the S. J. Foxman Courthouse building to create a separate family courts wing, while creating 2 additions to the east for civil/ criminal courts and a supporting office building. The courts and office are separated to save on construction cost for the office components, and are connected by a new security entry pavilion that allows for better way-finding to courts, attorney's offices, and other courts and government functions. By building the addition to the east, this creates a strong civic presentation to North Beach Street, and revitalizes the north end of downtown Daytona Beach. Public parking is achieved by adding a parking garage on the corner of 3rd Street and Palmetto Ave. Staff parking is segregated on the west side of the site, in the existing S. J. Foxman public parking lot, with additional staff parking capacity provided through the construction of a new parking structure in the location of the current S. J. Foxman parking lot. The proposed new garage both allows secure access for staff in the building, and also blocks the view of the old entry from the street, helping clarify that the new public entry is now off of Beach Street.

PREFERRED OPTION

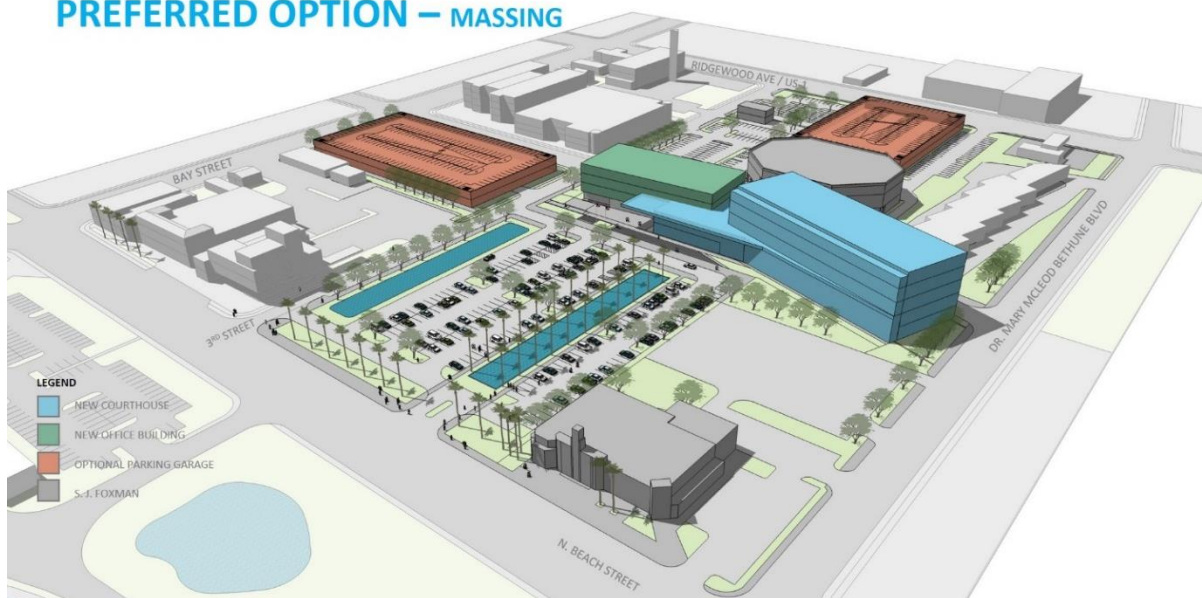
NEW COURTHOUSE ADDITION 5 STORIES	S.J. FOXMAN 3 STORIES
11 Courtrooms 6 Hearing rooms 16 Chambers	3 Courtrooms 2 Hearing rooms 6 Chambers (Family)
Clerk of the Court	Clerk of the Court(family)
Jury Assembly	Law Library
Drug Court Support / pretrial / UA	Case management / Self Help / General Magistrate / Teen Court
Court IT / Digital Court Reporting / Interpreter Services	Courts Administration
Sheriff (shared staff)	Public Defender (Juvenile)
Sheriff / Holding	Public Defender Appeals
	Guardian Ad Litem
	Holding (existing juvenile)
116,221 DGSF 156,898 BGSF	55,974 DGSF 85,722 BGSF

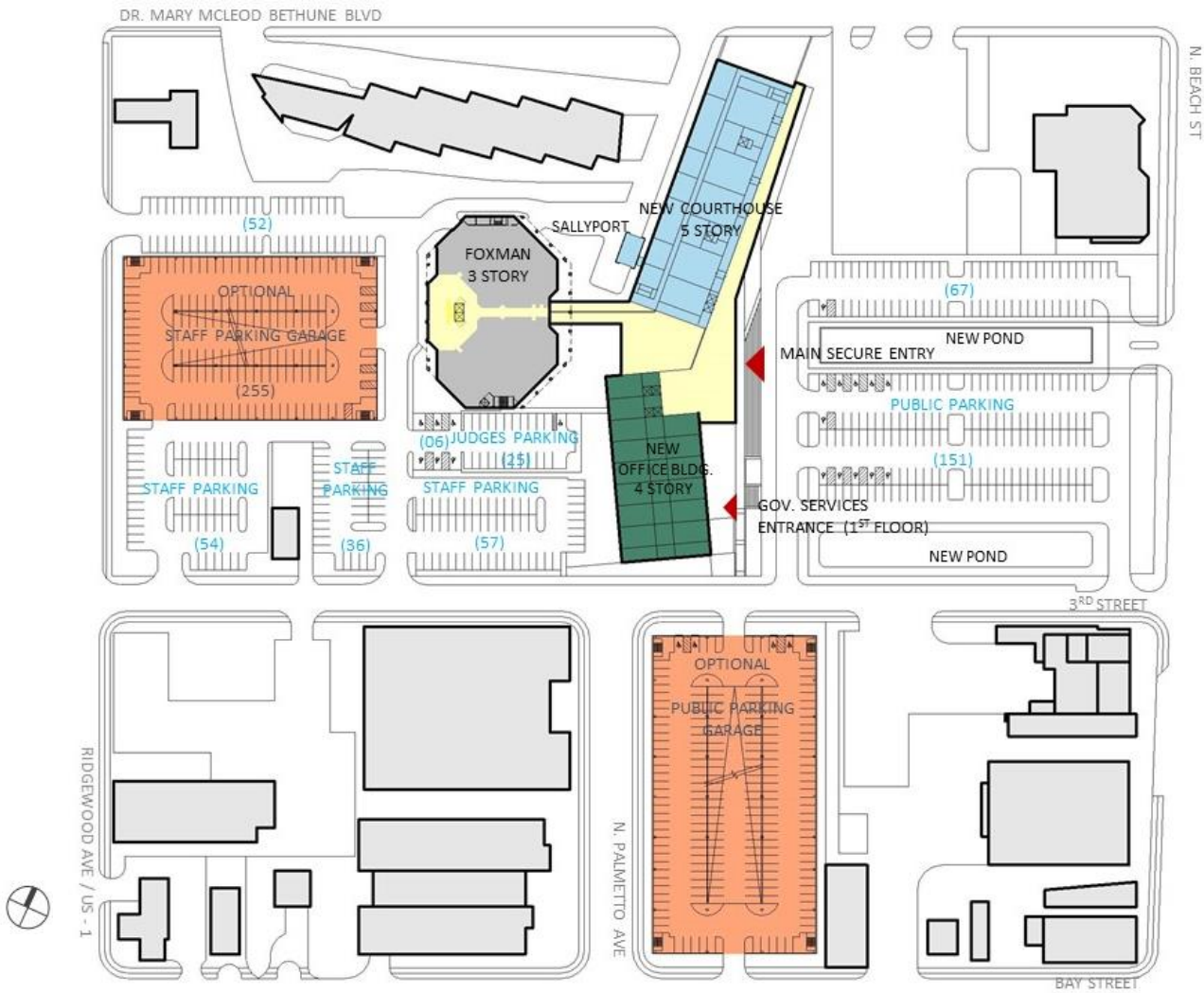
NEW OFFICE ADDITION 4 STORIES
State Attorney
Public Defender
Other Government Agencies (~20,900 bgsf)
73,213 DGSF 83,676 BGSF

ACRES : 11.3

PARKING : 1,077

PREFERRED OPTION – MASSING



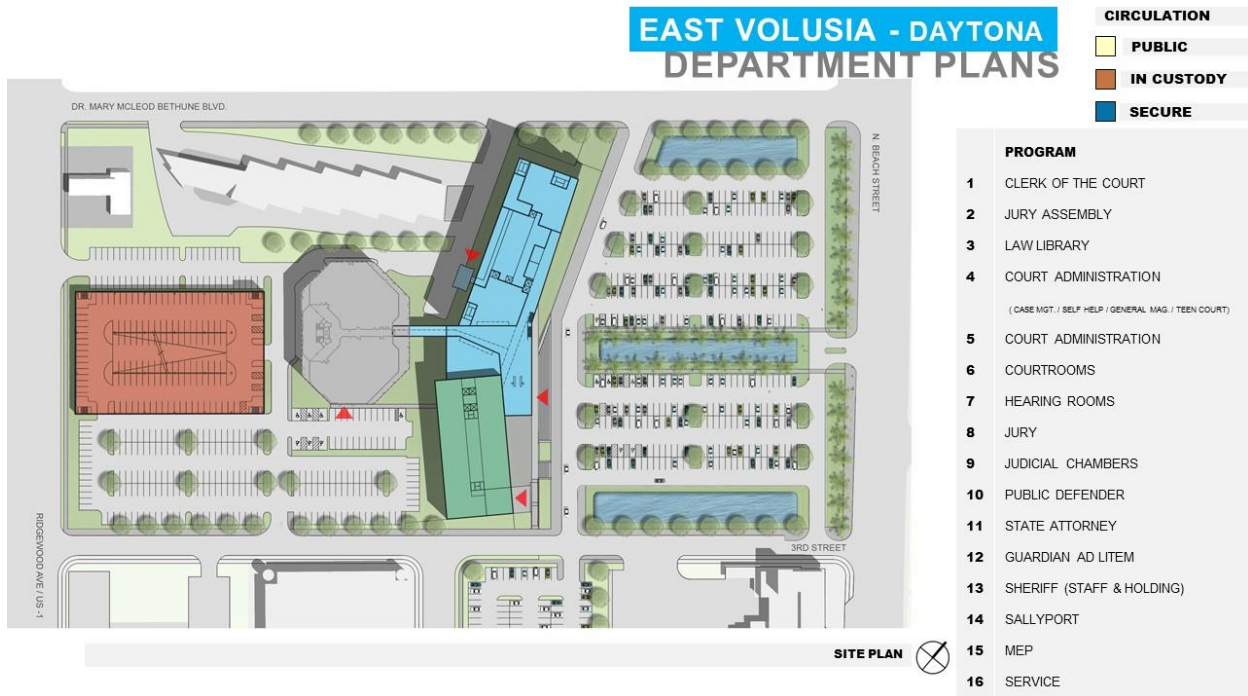


PREFERRED OPTION – EAST VIEW



06.8 SITE PLAN

East Volusia County – Additional Option



06.9 Cost Analysis Overview

A conceptual cost estimate was developed by Cost Management Inc. based on 2017 construction dollars for similar projects in similar areas, or 'fair market value'. The development in the conceptual estimate for the options took into consideration new construction, renovation where required, site preparation, site improvements and site utilities to accommodate the construction. Additional Soft costs, owner contingency, and economic escalation is calculated for a construction start date in the year 2020.

The two options shown on the next page consider 'Preferred Option' as the use of only county owned property vs 'Additional Option' that purchases adjacent property instead of building a public parking garage. All other things are equal between the options. The new courthouse facility expansion is to the east of S.J. Foxman. The option closes Palmetto Ave and relocates the retention pond and public parking.

The Pricing Summary include a percentage of the construction cost to cover Contractors General Conditions, Bond, overhead and profit (approx. 10%); Construction Contingency (approx. 10%). In the pricing summary the consideration of a Soft Cost percentage for Geotechnical reports and observations, Architect and Engineering fees, FF&E, Technology Design, Building Permit, Traffic and impact fees; Building commissioning and final move into completed facility are included in the estimate. Owner contingency is also accounted for in the pricing summary to arrive to a base construction + soft cost number.

PREFERRED OPTION, (No additional property acquired, all development on County owned property)



ADDITIONAL OPTION, (Additional property acquired for surface parking inlieu of constructing a public parking deck)

06.10 Pricing Summary

The total project cost is illustrated on the following pricing summary, and it is a breakdown of the major components including preliminary subtotal base construction cost, subtotal base construction cost + soft cost and total base project cost.

PRICING SUMMARY		PREFERRED OPTION No Land Purchase w/ Public and Staff Garage	ADDITIONAL OPTION Land Purchase & Staff Garage
Cost Item:			
New Construction			
New Courthouse Construction with Office space (1.35%)		\$56,463,384	\$56,463,384
New Office Building (1.20%)		\$20,077,352	\$20,077,352
Renovation			
S. James Foxman Courthouse Renovation		\$4,039,459	\$4,039,459
Demolition			
Two story insurance building along 3rd Street		No	Yes
North Buildings along Beach Street and Bethune Blvd.		No	Yes
One story Daytona Administration Building		Yes	Yes
Site Work (Including Demolition)			
Site Work (Dirtwork, Utilities, Surface Parking, hardscape/landscape, and retention)	12.2	\$4,607,884	14.3 \$5,401,044
South Public Garage	192	\$4,205,978	0 -
West Staff Garage	255	\$5,586,064	255 \$5,586,064
SUBTOTAL BASE CONSTRUCTION COST		\$94,980,120	\$91,567,303
Soft Costs (Survey, Geotech, Traffic, Permitting, Impact, A&E Fee, FF&E, Building Tech., Moving Cost, Building Commissioning)			
	15%	\$14,247,018.04	15% \$13,735,095.45
Owner Contingency	5%	\$4,749,006.01	5% \$4,578,365.15
Escalation to 2020 construction start	9%	\$8,548,210.83	9% \$8,241,057.27
SUBTOTAL Base Construction + Soft Cost		\$122,524,355	\$118,121,821
Land purchase and / or sale (Just-Value + 40%)			
Purchase of Insurance building		-	\$ 138,000
Purchase of North Lands (motorcycle dealership)		-	\$ 2,621,000
Sale of New Smyrna		\$ (1,613,000)	\$ (1,613,000)
TOTAL BASE PROJECT COST*		\$ 120,911,355	\$ 119,267,821

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07

APPENDICES

- A-** ENGINEERING EVALUATION
- B-** BUILDING EVALUATION MATRIX
- C-** COUNTY BUILDINGS - EXISTING FLOOR PLANS
- D-** OPERATIONAL OPTIONS – PROS & CONS
- E-** CONCEPTUAL ESTIMATE
- F-** WORKSHOP MEETING MINUTES
- G-** COUNTY BUILDINGS - EVALUATION SUMMARY
- H-** SEVENTH JUDICIAL CIRCUIT LETTER

07 APPENDICES – A- ENGINEERING EVALUATIONS



West Volusia Justice Center Building Assessment
TLC Project No. 116109
March 21, 2017

PLUMBING, FIRE SPRINKLER AND MECHANICAL

General

The site visit occurred the morning and afternoon of January 12, 2017. Notes by MRH.

Impressions: A newer 4-story (plus basement) building of approximately 220,000 sf. No previous comprehensive building renovation.

Plumbing

- A domestic water booster pump system is present but reportedly not needed or used.
- Restrooms utilize lower flow fixtures (1.6 gpf toilets and 1.0 gpf urinals).
- For significant upgrade/repurpose, expect to upgrade the restrooms per new occupancy and accessibility requirements. Fixture replacement is not necessary if restroom reconfiguration is not undertaken.

Fire Protection

- There is an existing fire sprinkler system in the building.
- A 100 hp fire pump with current inspection provides necessary system flow.
- A pre-action system is present in the data center.
- For significant upgrade/repurpose, expect to upgrade the system for proper coverage per NFPA 13.

Mechanical

- The building is cooled by a chilled water (CHW) system utilizing a pair of York R-123 water-cooled chillers. One chiller has a VFD, the other a solid-state starter.
- A 2-cell Evapco cooling tower is present and in fair condition. The fill will need replacement soon. The stainless basin appears in good condition but some areas of the galvanized body are corroded.
- Multiple York VAV AHUs cool the building.
- Several 100% outdoor air (OA) units' pre-condition ventilation air before it is delivered to the main recirculating units. These units exhibit some corrosion.
- The building HVAC equipment appears to be in good, well-maintained condition.
- The facility utilizes electric heat.
- Allerton controls are utilized.

TLC ENGINEERING FOR ARCHITECTURE, INC.
255 South Orange Avenue, Suite 1600, Orlando, FL 32801-3463
Phone 407.841.9050 www.tlc-engineers.com Fax 407.425.7367

West Volusia Justice Center Building Assessment
TLC Project No. 116109
March 21, 2017
Page 2

- Two (2) Liebert down-flow CRAC units condition the data center.
- For significant upgrade/repurpose, expect to upgrade the air distribution to new zoning requirements.
- There is an opportunity for energy conservation by replacing the standard efficiency motors with premium efficiency.

ELECTRICAL

General

The codes and standards covering electrical work include, but are not limited to the following:

These codes, societies, and association recommendations constitute minimum requirements and no reductions from design requirements will be permitted.

- 2014 Florida Building Code
- 2011 National Electrical Code NFPA 70
- 2014 Florida Energy Efficiency Code
- American Society for Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Standard 90.1-2010

Power Distribution System

There are no electrical as-built drawings of the original construction that were provided to TLC. All items indicated were based on a field survey conducted stated above in preparing this report.

The existing building main service is fed from two (2) services at 277/480V 3-phase 4-wire. The main service to the building terminates at two (2) 3000 amp, switchboards. Each switchboard is fed from a FPL utility pad mounted transformers located in the service yard adjacent to the generators. Each transformer has a utility company meter for the building located adjacent to the transformers. Primary is underground and believed to come from East Rich Avenue. Further investigation will be required to determine exact location. The existing main electrical room is located basement level adjacent to the main MDF room and Chiller room.

The existing switchboards MDP-A and MDP-B serving the building is a General Electric Power Break II Switchboards 3000 amp, 277/480V, 3 phase, 4 wire draw-out type switchboard. Switchboard is located in the Chiller Plant basement level. The main circuit breakers for each switchboard are 3000 amp, Micro Versa Trip Plus trip. Manually operated, draw out type insulated case circuit breaker. The distribution section consists of four (4) sections utilizing GE Spectra RMS molded case current limiting type circuit breakers ranging 50 amp to 800 amp. The distribution primarily serves various panels throughout the building and various mechanical equipment. Feeders serving the switchboards MDP-A and MDP-B could not be verified at the time of survey.



West Volusia Justice Center Building Assessment
TLC Project No. 116109
March 21, 2017
Page 3

Also located in the main electrical rooms various 277/480V, 3 phase, 4 wire panelboards and 120/208V, 3 phase, 4 wire panelboards. There are two (2) transformers, each at 75KVA. All panels and transformers are GE. All equipment were provided with permeant nameplates and type written directories.

Also located in the basement level air handling unit room are panels BHA and BLA. Panel BHA is a GE 400 amp, 277/480V, 3 phase, 4 wire panel primarily serving air handling equipment and heat. Panel BLA is a 120/208V, 3 phase, 4 wire panel primarily serving AHU controls and receptacles.

At the time of survey we could not get into the following areas:

- a. Holding
- b. Sheriff located at the basement level.

Incoming telephone demarcation point and voice/data racks are located in the main MDF room adjacent to the main electrical room. This room was not investigated at the time of service.

Located in air handling room A000 were additional voice/data racks. We would recommend that there racks be relocated or properly protected.

Lighting and HVAC equipment serving the core, common areas and spaces are fed through various electrical rooms located on each floor. Each electrical room contained, one (1) 42 circuits, 120/208V, 3 phase, 4 wire 225 amp panelboard with 150 amp main primarily serving computer receptacles, One (1) 42 circuits, 125 amp emergency panelboard with 100 amp main primarily serving fire alarm, security, data rack power, and area rescue panels. Also located in a typical electrical rooms are one (1) 42 circuits, 277/480V, 3 phase, 4 wire emergency and normal panel primarily serving emergency lighting and normal lighting in the spaces, core and common areas.

To the best of my knowledge there were no deficiencies within main electrical rooms and typical electrical rooms. Because of the critical loads associated with this building, we would recommend additional levels of surge protection.

Emergency Distribution System

Emergency power is by standby generators. There are two (2) generators. One primarily serves emergency and life safety circuits. The second generator primarily serves UPS loads. Emergency lighting and footcandle (fc) requirements for buildings appears to be inadequate per current Florida Building Code (FBC). FBC requires a minimum 1 fc average in egress corridors.

Lightning Protection System

There is a lightning protection system currently installed on the roof of this buildings. Could not verify for any deficiencies with the current lightning protection system.



West Volusia Justice Center Building Assessment
TLC Project No. 116109
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Fire Alarm

Current building fire alarm system consists of a Simplex Grinnell 4020 fire alarm hard wired control panel. This panel is not an addressable fire alarm control panel. We would recommend the replacement of this panel with an addressable type fire alarm control panel. The building is sprinkler; therefore the building's life safety system does not consist of any smoke detection system. Only manual pull stations located throughout and fire alarm combination horn strobe located throughout corridors. Strobes spaced throughout visible but not per current FBC. Strobes are required to be located 15 feet from end of corridor and within 100 feet on center. Strobes are also required to be mounted 80 inches from the floor to the bottom of the strobe light. Smoke detectors located in corridors throughout corridors but not per current FBC. Smoke detectors are required to be located mechanical and electrical spaces. Existing fire alarm control panel is located in the sheriff's multipurpose room. Fire alarm annunciator panel is located at the main lobby.

Typical Offices, Corridors and Similar Spaces

This building consists of various offices/departments, conference rooms, courtrooms and similar spaces. Typical configuration for each office is one duplex per wall with telephone and data outlet on one wall. Because of the age of the building, we will need to determine if circuits utilize shared neutral. Per current NEC code any renovations will require dedicated neutrals per circuit or multipole circuit breakers.

The standard light fixture is a 2x2 3-lamp parabolic light fixtures for corridors, lobbies and similar spaces and offices. 2x4 prismatic troffers primarily used in mechanical, electrical and similar spaces. The courtroom areas utilize recess downlights and pendent mounted decorative light fixtures.

Lighting controls throughout building is through the use of standard manual switching. Any renovations will require conformance to FBC Energy Code Chapter 405C and ASHAE 90.1. This will require upon entry to any offices or open offices so that only the 50% of the lights being turned on. It will also require time sleep to turn off all lighting end of day. ASHAE 90.1 will also require that 50% of the receptacle loads be turned off upon leaving and office or open office. ASHAE 90.1 will also require a lumen power budget of .9W/sq. ft. for general offices. The use of LED light fixtures would be required to meet this standard. All holding cells will require replacing to either minimum or maximum type security fixture.

Exterior Site Lighting

Could not observe any exterior site lighting. Any new site lighting will require either per the FBC or City of Deland will be design per IES recommended light levels for parking lights at 1 fc and 3 fc for security. Verification of the courtyard will be required for egress lighting.



West Volusia Justice Center Building Assessment
TLC Project No. 116109
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Electrical Photographs



Photo 1: Existing FP&L transformers



Photo 2: Existing standby generators.



Photo 3: Existing 3000 amp switchboard MDP-A and MDP-B.



Photo 4: Existing courtyard with minimum egress lighting.



West Volusia Justice Center Building Assessment
TLC Project No. 116109
March 21, 2017
Page 6



Photo 5: typical courtroom area corridors.



Photo 6: Typical electrical room layout.



Photo 7: Typical electrical room layout.



Photo 7: Typical stairwell lighting.



West Volusia Justice Center Building Assessment
TLC Project No. 116109
March 21, 2017
Page 7



Photo 8: Typical core and corridor lighting.

END OF REPORT





Volusia County Jail – Courtroom Area Assessment
TLC Project No. 116109
March 21, 2017

PLUMBING, FIRE SPRINKLER AND MECHANICAL

General

The site visit occurred the morning of January 11, 2017. Notes by MRH.

Impressions: A 1-story portion of the County Jail facility of approximately 2,300 sf. No previous comprehensive building renovation.

Plumbing

- Restrooms utilize lower flow fixtures (1.6 gpf toilets). The restrooms have been renovated.
- For significant upgrade/repurpose, expect to upgrade the restrooms per new occupancy and accessibility requirements. Fixture replacement is not necessary if restroom reconfiguration is not undertaken.

Fire Protection

- There is an existing fire sprinkler system in the building.
- For significant upgrade/repurpose, expect to upgrade the system for proper coverage per NFPA 13.

Mechanical

- The HVAC system serving the area could not be accessed. Condition is unknown. The space is served by a chilled water (CHW) AHU of unknown age or configuration.
- System type (VAV, etc.) is unknown.
- For significant upgrade/repurpose, expect to upgrade the air distribution to new zoning requirements.

ELECTRICAL

General

The codes and standards covering electrical work include, but are not limited to the following:

TLC ENGINEERING FOR ARCHITECTURE, INC.
255 South Orange Avenue, Suite 1600, Orlando, FL 32801-3463
Phone 407.841.9050 www.tlc-engineers.com Fax 407.425.7367

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These codes, societies, and association recommendations constitute minimum requirements and no reductions from design requirements will be permitted.

- 2014 Florida Building Code
- 2011 National Electrical Code NFPA 70
- 2014 Florida Energy Efficiency Code
- American Society for Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Standard 90.1-2010

Power Distribution System

There are no electrical as-built drawings of the original construction that were provided to TLC. All items indicated were based on a field survey conducted stated above in preparing this report.

The existing Volusia County Jail main service could not be verified. The service apparently is within the confines of the jail and inaccessible. The Public Defender Buildings consists of main service feeding the building are fed underground to a meter at each end of the existing trailer buildings. The overhead electric could not be verified. The service to each building is 120/240V 1-phase 3-wire. The existing main electrical panel for the Jail could not be verified. The Public Defender load centers are located within the trailers in one of the offices.

The existing main service panel for the Jail could not be verified. Main service panel is located within the confines of the jail. A 125A load center in the Public Defender trailers contains 12 circuits.

Incoming telephone for the Jail could not be verified. Incoming telephone for the Public Defender is located in a closet within the trailers.

Deficiencies within main electrical rooms are as follows:

- a. Arc Flash Requirements per current NEC requirements.
- b. Surge protection not provided.

Emergency Distribution System

Emergency power is primarily emergency battery units for both Volusia County Jail and Public Defender Building. Emergency lighting and footcandle (fc) requirements for buildings appears to be inadequate per current Florida Building Code (FBC). FBC requires a minimum 1 fc average in egress corridors.

Lightning Protection System

There is no lightning protection system currently installed on the roof of each of these buildings.

Fire Alarm



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Building fire alarm system for each building could not be verified. Existing fire alarm panel located within the confines of the jail.

The Jail is sprinkler; therefore the buildings life safety system does not consist of a smoke detection system. Only a manual pull stations located throughout and fire alarm combination horn strobe located throughout corridors is required. Strobes spaced throughout visible but not per current FBC. Strobes are required to be located 15 feet from end of corridor and within 100 feet on center. Strobes are also required to be mounted 80 inches from the floor to the bottom of the strobe light. Did not see location of existing fire alarm annunciator panel.

Typical Offices, Corridors and Similar Spaces

This Jail consists of various offices, conference rooms, courtroom, holding and reception area. Typical configuration for each office is one duplex per wall with telephone and data outlet on one wall. Because of the age of the building, we will need to determine if circuits utilize shared neutral. Per current NEC code any renovations will requires dedicated neutrals per circuit or multipole circuit breakers.

The standard light fixture is a 2x4 3-lamp prismatic light fixtures and 4 ft. wraparound light fixtures. It appears light fixtures will requires re-lamping and lens cleaned.

Lighting controls throughout building is through the use of standard manual switching. Any renovations will require conformance to FBC Energy Code Chapter 405C and ASHAE 90.1. This will require upon entry to any offices or open offices so that only the 50% of the lights being turned on. It will also require time sleep to turn off all lighting end of day. ASHAE 90.1 will also require that 50% of the receptacle loads be turned off upon leaving and office or open office. ASHAE 90.1 will also require a lumen power budget of .9W/sq. ft. for general offices. The use of LED light fixtures would be required to meet this standard. All holding cells will require replacing to either minimum or maximum type security fixture.

Exterior Site Lighting

Exterior site lighting are 30 foot tapered poles yoke mounted light fixtures. Type of lamps could not be verified. The fixtures appear fairly new. It was noted that there was minimal lighting in the existing parking area. No field verification of existing light levels was conducted as part of this scope. It is noted the IES recommended light levels for parking lights are 1 fc and 3 fc for security. Further investigation will be required to see if the existing light levels meet the current City of Daytona Beach or Volusia County Lighting Ordinance.



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Electrical Photographs



Photo 1: Existing courtroom lighting.



Photo 2: Communication and power wiring on floor.



Photo 3: Not enough receptacles for courtroom.



Photo 4: Courtroom lighting.



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Photo 5: Courtroom lighting.



Photo 6: Existing 2x4 prismatic troffer throughout spaces.



Photo 7: Existing Holding lighting.



Photo 8: Surface mounted devices. (typical)



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Photo 9: Existing Public Defender lighting.



Photo 9: Existing main service panel for Public Defender trailers.

END OF REPORT





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PLUMBING, FIRE SPRINKLER AND MECHANICAL

General

The site visit occurred the afternoon of January 11, 2017. Notes by MRH.

Impressions: A 3-story building of approximately 82,000 sf. No previous comprehensive building renovation.

Plumbing

- Restrooms utilize lower flow fixtures. Fixtures were reportedly recently replaced.
- For significant upgrade/repurpose, expect to upgrade the restrooms per new occupancy and accessibility requirements. Fixture replacement is not necessary if restroom reconfiguration is not undertaken.

Fire Protection

- There is an existing fire sprinkler system in the building.
- A 75 hp fire pump with current inspection provides necessary system flow.
- A pre-action system is present in the data center.
- For significant upgrade/repurpose, expect to upgrade the system for proper coverage per NFPA 13.

Mechanical

- The building is cooled by three (3) 75-ton Trane IntelliPac VAV rooftop packaged A/C units. These are not the original units. Externally, their condition appears fair to poor. They will require replacement or significant repair soon.
- The facility utilizes Allerton controls, which is the county standard.
- For significant upgrade/repurpose, expect to upgrade the air distribution to new zoning requirements. Expect to repair or replace the large rooftop A/C units.

ELECTRICAL

General

The codes and standards covering electrical work include, but are not limited to the following:

TLC ENGINEERING FOR ARCHITECTURE, INC.
255 South Orange Avenue . Suite 1600 . Orlando, FL 32801-3463
Phone 407.841.9050 www.tlc-engineers.com Fax 407.425.7367

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These codes, societies, and association recommendations constitute minimum requirements and no reductions from design requirements will be permitted.

- 2014 Florida Building Code
- 2011 National Electrical Code NFPA 70
- 2014 Florida Energy Efficiency Code
- American Society for Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Standard 90.1-2010

Power Distribution System

There are no electrical as-built drawings of the original construction that were provided to TLC. All items indicated were based on a field survey conducted stated above in preparing this report.

The existing building main service feeding the building is at 277/480V 3-phase 4-wire. The main service to the switchboard is fed from a FPL pad mounted transformer. There is one utility company meter for the building. The existing main electrical room is located at the first level adjacent to the sally port.

The existing main switchboard MSB serving the building is a Cutler Hammer Eaton 1600A, 277/480V MP200 switchboard with a 1600A pringle bolted pressure switch. Feeders serving this switchboard could not be verified at the time of survey.

The distribution section of MSB consist of ten (10) mold case circuit breakers with no spaces for additional loads if required. The distribution primarily serves various panels throughout the building and elevators. The second distribution section of MSB is QMB type fusible distribution section that primarily serves rooftop units, domestic pump and various panels. Also located in this room are disconnecting means for fire pump, transfer switches and access control panel.

Main Distribution Frame Room housed incoming telephone demarcation point, and numerous data racks.

There is one electrical room per floor with various panels located throughout the spaces. Lighting and HVAC equipment serving the elevator lobbies, core and common areas are fed from various, 225 amp, 480/277V, 3 phase, 4 wire panels located on each floor. Lighting for these areas is typically 277V and primarily originate from panels located on respective floor electrical room. Receptacles and 120V lighting loads for the elevator lobbies, core and common areas are fed from 125 amp, 120/208V, 3 phase, 4 wire panels via 45KVA transformer hung from structure above.

Typical electrical rooms consists of one (1) 277/480V, 3 phase, 4 wire panel, one (1) 120/208V, 3 phase, 4 wire panel and one (1) 120/208V, 3 phase, 4 wire panel connected to UPS and two (2) transformers. UPS was not investigated at time of survey. The panels were Cutler Hammer Eaton as well as the transformer. The electrical rooms appear to stock from 1st floor to 3rd floor. Communication equipment are located at various storage room and dedicated communication rooms.



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Deficiencies within electrical rooms are as follows:

- a. Electrical rooms used for storage. Clearance requirements not meet.
- b. Surge protection not provided.

Emergency Distribution System

Emergency power is provided by a 180KW, 225KVA, .8PF diesel Kohler generator and 400 amp automatic transfer switch located in the main electrical room. To the best of my knowledge the generator is exercised regularly. The generator does appear to require some servicing or replaced. Generator showing deterioration and wear. We recommend that a representative from Kohler provide a maintenance or load test to determine exactly condition of generator.

Emergency lighting and footcandle (fc) requirements for buildings appears to be inadequate per current Florida Building Code (FBC). FBC requires a minimum 1 fc average in egress corridors.

Lightning Protection System

Lightning protection system is currently installed on the roof of this buildings. It appears that various equipment and vents not properly protected.

Fire Alarm

Building fire alarm system consists of a Gamewell IF632 fire alarm control panel. This panel is a hard wired fire alarm control panel voice evacuation system. Recommendation fire alarm panel be replaced with digital addressable system. The buildings is sprinkler; therefore the buildings life safety system does require a smoke detection system and only manual pull stations required with fire alarm combination audible strobe located throughout corridors. Strobes spaced throughout visible but not per current FBC. Strobes are required to be located 15 feet from end of corridor and within 100 feet on center. Strobes are also required to be mounted 80 inches from the floor to the bottom of the strobe light. Smoke detectors not installed in electrical rooms or storage rooms. Fire alarm annunciator panel located in main lobby.

Typical Offices, Corridors and Similar Spaces

There are many enclosed private offices, conference rooms, courtrooms, holding, chambers and similar spaces. Typical configuration for each office is one duplex per wall with telephone and data outlet on one wall. We will need to determine if circuits utilize shared neutral. Per current NEC code any renovations will requires dedicated neutrals per circuit or multipole circuit breakers.

The standard light fixture is a 2x4 3-lamp parabolic and 2x2 2-lamp parabolic light fixtures with T8 lamps. It appears light fixtures will requires re-lamping and lens cleaned.



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Lighting controls throughout building is through the use of standard manual switching. Any renovations will require conformance to FBC Energy Code Chapter 405C and ASHAE 90.1. This will require upon entry to any offices or open offices so that only the 50% of the lights being turned on. It will also require time sleep to turn off all lighting end of day. ASHAE 90.1 will also require that 50% of the receptacle loads be turned off upon leaving and office or open office. ASHAE 90.1 will also require a lumen power budget of .9W/sq. ft. for general offices. The use of LED light fixtures would be required to meet this standard. All holding cells will require replacing to either minimum or maximum type security fixture.

Exterior Site Lighting

Exterior site lighting are 30 foot tapered poles yoke mounted light fixtures. Type of lamps could not be verified. The fixtures appear fairly new. It was noted that there was minimal lighting in the existing parking area. No field verification of existing light levels was conducted as part of this scope. It is noted the IES recommended light levels for parking lights are 1 fc and 3 fc for security. Further investigation will be required to see if the existing light levels meet the current City of Daytona Beach or Volusia County Lighting Ordinance.



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Electrical Photographs



Photo 1: Existing 1600 amp, 277/480V, 3 phase, 4 wire main switchboard in main electrical room.



Photo 2: Existing distribution section in MSB.



Photo 3: Existing 400 amp ATS.



Photo 4: Existing main communication room.



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Photo 5: Existing demarcation point.



Photo 6:



Photo 7: Existing punch down.



Photo 8: Existing Gamewell fire alarm panel.



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Photo 9: Existing diesel tank.



Photo 10: Lobby.



Existing 2x2 parabolic light fixtures.

Photo 11:



Photo 12: Inadequate lightning protection system..



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Photo 13: Typical electrical room per floor..



14: 120/208V panels in floor electrical rooms.



Photo 15: Clearance conflict within electrical rooms.



Photo 16: Typical hung mounted transformer.



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Photo 19: Existing site lighting fixture.

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PLUMBING, FIRE SPRINKLER AND MECHANICAL

General

The site visit occurred the morning of January 11, 2017. Notes by MRH.

Impressions: An old 3-story building plus basement. Approximately 60,000 sf. No previous comprehensive building renovation.

Plumbing

- There are no elevator shaft sump pumps.
- Some restrooms have been renovated with lower flow (1.6 gpf) toilets and 1 gpf urinals. At least one restroom still utilizes 3.5 gpf toilets. Condition of many fixtures was fair to poor.
- For significant upgrade/repurpose, expect to upgrade the restrooms.

Fire Protection

- There is no fire sprinkler system in the building.
- For significant upgrade/repurpose, expect to provide a new wet pipe fire sprinkler system per NFPA 13.

Mechanical

- The main AHU is a built-up unit in the penthouse. The Temptrol coils and HuntAir fan wall were installed three (3) years ago. The coils are epoxy-coated copper tube/copper fin. At the same time, a large Dias Analytic ConsERV was installed on the roof outside of the penthouse to pre-treat the OA ventilation air utilizing the exhaust air stream. Owner reports occupant complaints diminished greatly after this work.
- The built-up AHU uses DX coils. There are (6) Carrier 40-ton R-22 condensing units with are 12 years old and failing. They have their original copper tube/copper fin coils.
- The facility utilizes Allerton controls, which is the county standard. All old controls still in place are reportedly abandoned.
- Most areas still utilizes the old Carrier Moduline air distribution system. The Owner indicated that is a "weak spot" in the acceptable functionality of the building. Most of the original 1x4 steel diffusers are still in place.
- There is not much heat still active in the building. A few small areas that have been renovated now have VAV terminals with electric heat.
- There is no smoke control system in the building.

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255 South Orange Avenue, Suite 1600, Orlando, FL 32801-3463
Phone 407.841.9050 www.tlc-engineers.com Fax 407.425.7367

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- For significant upgrade/repurpose, expect to upgrade the air distribution to standard VAV terminals, and rezone. Smoke control may be necessary, depending on use of holding cells.

ELECTRICAL

General

The codes and standards covering electrical work include, but are not limited to the following:

These codes, societies, and association recommendations constitute minimum requirements and no reductions from design requirements will be permitted.

- 2014 Florida Building Code
- 2011 National Electrical Code NFPA 70
- 2014 Florida Energy Efficiency Code
- American Society for Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Standard 90.1-2010

Power Distribution System

There are no electrical as-built drawings of the original construction that were provided to TLC. All items indicated were based on a field survey conducted stated above in preparing this report.

The existing building main service feeding the building is at 277/480V 3-phase 4-wire. The main service to the switchboard is fed from a FPL vault located somewhere in the basement level of the building or just outside the building. At the time of site survey the vault was not investigated. There is one utility company meter for the building located adjacent to the main switchboard in the basement level. Primary is overhead along City Island Parkway and eventually routed underground. The existing main electrical room is located at the basement level.

The existing main switchboard MSB serving the building is a General Electric 2000A, 277/480V AV-Line switchboard with a 2000A insulated case main circuit breaker. Feeders serving this switchboard could not be verified at the time of survey.

The distribution section of MSB consist of twelve (12) mold case circuit breakers with two (2) spaces for additional loads if required. The distribution primarily serves various panels throughout the building, elevators, electric heat and penthouse. The penthouse utilizes a 1000AT/1200AF circuit breaker with a high/low adjustment. Also located in this room is a 277/480V, 3 phase, 4 wire lighting panel at 225 amps, 120/208V, 3 phase, 4 wire receptacle panel at 100 amps and at 225 amps.

Incoming telephone also originates from the main electrical room with main telephone backboard and associated demark and punch down blocks. The main communication room is located within an existing mechanical room.



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No type written directory or permanent plaques were found. All breakers were marked with handwritten load descriptions on the panel.

Lighting and HVAC equipment serving the elevator lobbies, core and common areas are fed various, 225 amp, 480/277V, 3 phase, 4 wire panels located on each floor. Lighting for these areas is typically 277V and primarily originate from panels located on respective floor electrical room. Receptacles and 120V lighting loads for the elevator lobbies, core and common areas are fed from 225 amp, 120/208V, 3 phase, 4 wire panels via 75KVA transformer located on the same floor adjacent to the 480/277V panels indicated above.

Typical electrical rooms consists of one (1) 225 amp, 277/480V, 3 phase, 4 wire panel, 75 KVA transformer and 225 amp, 120/208V, 3 phase, 4 wire panel. The panels were General electric as well as the transformer. It appears there was a renovation on the 3rd floor with up to date panels. The electrical rooms appear to stock from 1st floor to 3rd floor. Each electrical room also contain a communications backboard. The penthouse electrical room consist of a General Electric AV-Line Switchboard, 1200 amp, 480V, 3 phase, 3 wire primarily serving HVAC mechanical equipment. Also in the penthouse electrical room is a 100 amp, 3 phase, 4 wire, 480V panel, 30KVA transformer and 100 amp, 120/208V, 3 phase, 4 wire panel.

Deficiencies within electrical rooms are as follows:

- a. Excessive wear and deterioration of main switchboard. Per new NEC 70E flash protection will be required.
- b. Foreign material within clearance space of electrical switchboard and panels.
- c. Dedicated room required for main electrical room.
- d. Conductors not within conduits.
- e. Opening not sealed within electrical rooms.
- f. Clearance requirements not meet per current NEC.
- g. Surge protection not provided.
- h. Circuit breakers for General Electric AV-Line not available.

Emergency Distribution System

Emergency power is primarily emergency battery units. To the best of my knowledge the generator was removed due to maintenance issues.

Emergency lighting and footcandle (fc) requirements for buildings appears to be inadequate per current Florida Building Code (FBC). FBC requires a minimum 1 fc average in egress corridors.

Lightning Protection System

There is no lightning protection system currently installed on the roof of this buildings.



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Fire Alarm

Building fire alarm system consists of a Silent Knight Model 5820 fire alarm control panel. This panel is an addressable fire alarm control panel with capacity of 127 points expandable to 792 points. This panel is not the original fire alarm panel. The panels appears to be useable for any new renovations. The buildings is not sprinkler; therefore the buildings life safety system consist of a smoke detection system and manual pull stations located throughout and fire alarm combination horn strobe located throughout corridors. Strobes spaced throughout visible but not per current FBC. Strobes are required to be located 15 feet from end of corridor and within 100 feet on center. Strobes are also required to be mounted 80 inches from the floor to the bottom of the strobe light. Smoke detectors located in corridors throughout corridors but not per current FBC. Smoke detectors are required to be located 30 feet on center and within 15 feet from end of corridors. Did not see location of existing fire alarm annunciator panel.

Typical Offices, Corridors and Similar Spaces

There are many enclosed private offices, conference rooms, courtrooms, holding, chambers and similar spaces. Typical configuration for each office is one duplex per wall with telephone and data outlet on one wall. Because of the age of the building, we will need to determine if circuits utilize shared neutral. Per current NEC code any renovations will requires dedicated neutrals per circuit or multipole circuit breakers.

The standard light fixture is a 2x4 3-lamp parabolic light fixtures with T12 lamps for offices and 2x4 prismatic troffers for the courtrooms and corridors. It appears light fixtures will requires re-lamping and lens cleaned.

Lighting controls throughout building is through the use of standard manual switching. Any renovations will require conformance to FBC Energy Code Chapter 405C and ASHAE 90.1. This will require upon entry to any offices or open offices so that only the 50% of the lights being turned on. It will also require time sleep to turn off all lighting end of day. ASHAE 90.1 will also require that 50% of the receptacle loads be turned off upon leaving and office or open office. ASHAE 90.1 will also require a lumen power budget of .9W/sq. ft. for general offices. The use of LED light fixtures would be required to meet this standard. All holding cells will require replacing to either minimum or maximum type security fixture.

Exterior Site Lighting

Exterior site lighting are 25 foot concrete poles yoke mounted light fixtures using LEDs. The fixtures appear fairly new. It was noted that there was minimal lighting in the existing parking area. No field verification of existing light levels was conducted as part of this scope. It is noted the IES recommended light levels for parking lights are 1 fc and 3 fc for security. Further investigation will be required to see if the existing light levels meet the current City of Daytona Beach or Volusia County Lighting Ordinance.



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Electrical Photographs



Photo 1: Main Entry – inadequate life safety and security lighting.



Photo 2: Existing building mounted light fixture used for life safety or security.



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Photo 3: Existing smoke detector.

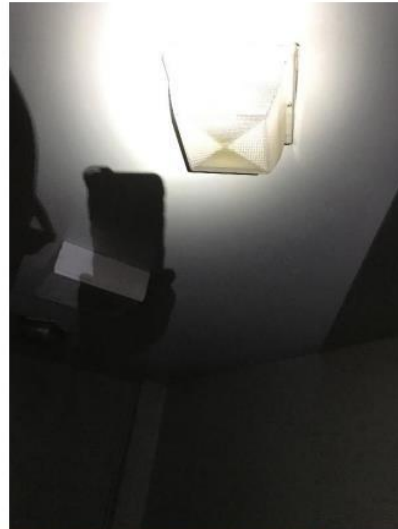


Photo 4: Existing holding cell light fixture. (typical)

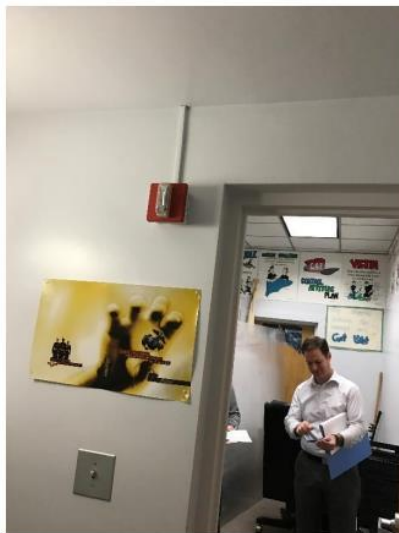


Photo 5: Existing fire alarm strobe. (typical)



Photo 6: Existing battery unit. (typical)



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Photo 7: Existing courtroom light fixture. (typical)



Photo 8: Existing manual controls for lighting.
(typical)



Photo 9: Existing meter.



Photo 10: Existing Main Switchboard.



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Photo 11: Existing Fire alarm Panel.



Photo 12: Existing fire alarm terminal cabinet.



Photo 13: Corridor smoke detector.

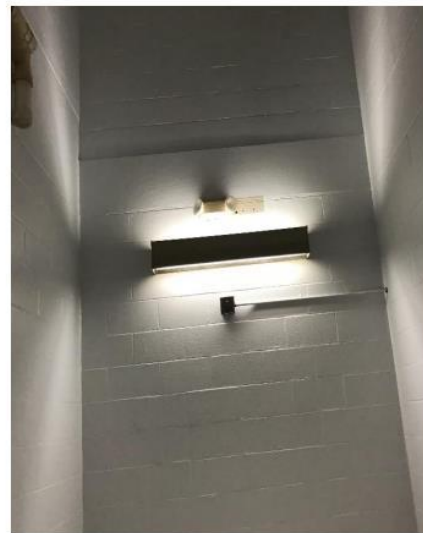


Photo 14: Existing stairwell light fixture and emergency battery unit.
(typical)



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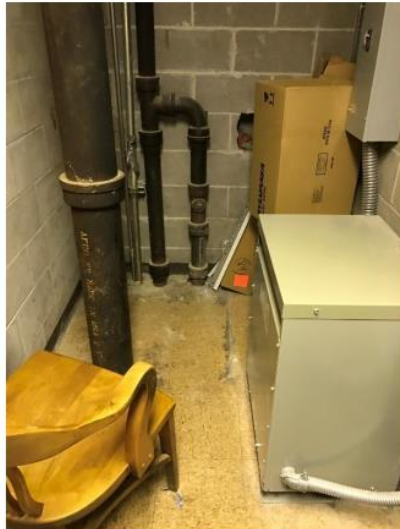


Photo 15: Clearance conflict within electrical rooms.



Photo 17: Typical communications backboard.



Photo 167: Typical electrical room.



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Photo 18: Existing electrical panels.



Photo 19: Existing transformer.



Photo 20: Typical courtroom lighting.



Photo 21: Existing receptacle layout at judge's bench.



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Photo 182: Existing disconnecting means for mechanical equipment.



Photo 23: Typical site lighting light fixture.



Photo 24: LED site lighting fixture.



Photo 25: Existing incoming utility service.

END OF REPORT





New Smyrna Courthouse Annex Assessment
TLC Project No. 116109
March 21, 2017

PLUMBING, FIRE SPRINKLER AND MECHANICAL

General

The site visit occurred the afternoon of January 11, 2017. Notes by MRH.

Impressions: An older 1-story building of approximately 10,000 sf. Previously renovated but still dated.

Plumbing

- Restrooms utilize lower flow fixtures.
- A relatively new Rheem electric water heater is present.
- For significant upgrade/repurpose, expect to upgrade the restrooms per new occupancy and accessibility requirements.

Fire Protection

- There is no fire sprinkler system in the building.

Mechanical

- The building is cooled by three (3) rooftop packaged A/C units. These could not be observed (no roof access). Their condition could not be assessed. Two (2) appeared to be Trane units in the 10- to 12.5 ton capacity range. Another, serving the courtroom, appeared to be in the 7.5 ton range.
- There are also two (2) split DX A/C systems serving the data equipment room. One system is relatively new, the other is dated.
- For significant upgrade/repurpose, expect to upgrade the air distribution to new zoning requirements. Expect to repair or replace the rooftop A/C units.

ELECTRICAL

General

The codes and standards covering electrical work include, but are not limited to the following:

TLC ENGINEERING FOR ARCHITECTURE, INC.
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These codes, societies, and association recommendations constitute minimum requirements and no reductions from design requirements will be permitted.

- 2014 Florida Building Code
- 2011 National Electrical Code NFPA 70
- 2014 Florida Energy Efficiency Code
- American Society for Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Standard 90.1-2010

Power Distribution System

There are no electrical as-built drawings of the original construction that were provided to TLC. All items indicated were based on a field survey conducted stated above in preparing this report.

The existing building main service feeding the building is at 120/240V, 3-phase 3-wire. The main service to the main distribution service panel is fed from overhead electric from pole mounted transformers. There is one utility company meter for the building. The existing main electrical room is located at the first level.

The existing main service panel MDP serving the building is a Schneider Electric Square D 600A, 120/240V I-Line distribution panel with a 600A molded case main circuit breaker. Feeders serving this switchboard could not be verified at the time of survey.

The distribution section of MDP consist of seventeen (17) molded case circuit breakers with two (2) spaces for additional loads if required. The distribution primarily serves various panels throughout the building, air handlers, water heater, boiler, chiller and chill water pump. A second panel is also located in the main electrical room. This panel is rated 400 amps serving various air handlers. Another 42 circuit 225 amp panel is located in the main communication room. There are various panels located in the egress corridor. Any major renovation will require these panels to be relocated. Panels primarily serves lighting and receptacle loads.

Main Communication Room houses incoming telephone demarcation point, numerous data racks and fire alarm panel.

Deficiencies within electrical rooms are as follows:

- a. Electrical rooms used for storage. Clearance requirements not meet.
- b. Surge protection not provided.
- c. Main distribution panel shows excessive wear. New circuit breakers not available.
- d. Arc Flash required per NEC requirements.

Emergency Distribution System

Emergency power is provided by a 20KW, 25KVA, .8PF diesel Onan generator located outdoors and 100 amp automatic transfer switch located outdoors adjacent to the utility meter. To the best of my knowledge the generator is exercised regularly. The generator does appear to require some servicing or replaced. Generator showing deterioration and wear. We recommend that a representative from Onan provide a maintenance or load test to determine exactly condition of the generator.



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Emergency lighting and footcandle (fc) requirements for buildings appears to be inadequate per current Florida Building Code (FBC). FBC requires a minimum 1 fc average in egress corridors.

Lightning Protection System

Lightning protection system is currently not installed on the roof of this buildings.

Fire Alarm

Building fire alarm system consists of a Silent Knight Model SK-5208 fire alarm control panel. This panel is a hard wired fire alarm control panel. Recommendation fire alarm panel be replaced with digital addressable system. The buildings is not sprinkler; therefore the buildings life safety system does require a smoke detection system and only manual pull stations required with fire alarm combination audible strobe located throughout corridors. Strobes spaced throughout visible but not per current FBC. Strobes are required to be located 15 feet from end of corridor and within 100 feet on center. Strobes are also required to be mounted 80 inches from the floor to the bottom of the strobe light. Smoke detectors not installed in electrical rooms or storage rooms. Fire alarm annunciator panel located in main lobby.

Typical Offices, Corridors and Similar Spaces

There are many enclosed private offices, conference rooms, courtrooms, holding, chambers and similar spaces. Typical configuration for each office is one duplex per wall with telephone and data outlet on one wall. We will need to determine if circuits utilize shared neutral. Per current NEC code any renovations will requires dedicated neutrals per circuit or multipole circuit breakers.

The standard light fixture is a 2x4 3-lamp parabolic and 2x4 3-lamp prismatic troffer with T8 lamps. It appears light fixtures will requires re-lamping and lens cleaned.

Lighting controls throughout building is through the use of standard manual switching. Any renovations will require conformance to FBC Energy Code Chapter 405C and ASHAE 90.1. This will require upon entry to any offices or open offices so that only the 50% of the lights being turned on. It will also require time sleep to turn off all lighting end of day. ASHAE 90.1 will also require that 50% of the receptacle loads be turned off upon leaving and office or open office. ASHAE 90.1 will also require a lumen power budget of .9W/sq. ft. for general offices. The use of LED light fixtures would be required to meet this standard. All holding cells will require replacing to either minimum or maximum type security fixture.

Exterior Site Lighting

Exterior site lighting are 30 foot tapered poles yoke mounted light fixtures. Type of lamps could not be verified. The fixtures appear fairly new. It was noted that there was minimal lighting in the existing parking area. No field verification of existing light levels was conducted as part of this scope. It is noted the IES recommended light levels for parking lights are 1 fc and 3 fc for security. Further investigation will be required to see if the existing light levels meet the current City of Daytona Beach or Volusia County Lighting Ordinance.



New Smyrna Courthouse Annex Assessment
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Electrical Photographs



Photo 1: Existing 1600 amp, 277/480V, 3 phase, 4 wire main switchboard in main electrical room.



Photo 2: Existing distribution section in MSB.



Photo 3: Existing 400 amp ATS.



Photo 4: Existing main communication room.



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Photo 5: Existing demarcation point.



Photo 6:



Photo 7: Existing punch down.



Photo 8: Existing Gamewell fire alarm panel.



New Smyrna Courthouse Annex Assessment
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Photo 9: Existing diesel tank.



Photo 10: Lobby.



Photo 111:



Photo 122:

END OF REPORT





Daytona Beach Administration Building Assessment
TLC Project No. 116109
March 21, 2017

PLUMBING, FIRE PROTECTION AND MECHANICAL

General

The site visit occurred the morning of January 11, 2017. Notes by MRH.

Impressions: An old 1-story building or approximately 47,000 sf. Has undergone previous renovation.

Plumbing

- Some restrooms have been renovated with low (1.6 and 1.26 gpf) toilets. 1.0 gpf urinals were noted.
- For significant upgrade/repurpose, expect to upgrade the restrooms per new occupancy and accessibility requirements. Fixture replacement is not necessary if restroom reconfiguration is not undertaken.

Fire Protection

- There is an existing fire sprinkler system in the building.
- For significant upgrade/repurpose, expect to upgrade the system for proper coverage per NFPA 13.

Mechanical

- There are approximately 27 rooftop packaged A/C units typically ranging in size from 3- to 7.5-tons in capacity. Their condition appeared fair to poor, even though their age is typically 2- to 7-years. The Owner reported they require replacement every few years due to the corrosive coastal environment.
- There are a few small split DX systems, also in poor condition.
- There is an old abandoned boiler located above the snack bar.
- For significant upgrade/repurpose, expect to upgrade the A/C units and rezone to the new configuration.

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ELECTRICAL

General

The codes and standards covering electrical work include, but are not limited to the following:

These codes, societies, and association recommendations constitute minimum requirements and no reductions from design requirements will be permitted.

- 2014 Florida Building Code
- 2011 National Electrical Code NFPA 70
- 2014 Florida Energy Efficiency Code
- American Society for Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Standard 90.1-2010

Power Distribution System

There are no electrical as-built drawings of the original construction that were provided to TLC. All items indicated were based on a field survey conducted stated above in preparing this report.

The existing building main service feeding the building is at 120/208V 3-phase 4-wire. The main service to the switchboard is fed from a FPL vault located on the backside of the building outside the building. At the time of site survey the vault was not investigated. There is one utility company meter for the building located adjacent to the main switchboard in the basement level. Primary is overhead along 3rd Avenue and eventually routed underground. The existing main electrical room is located backside or behind the F&L vault by the loading dock.

The existing main switchboard MSB serving the building is a Schneider Electric Square D Power Style 2000 amp, 120/208V, 3 phase, 4 wire switchboard. The main disconnect is a service rated 2000 amp, 3 pole disconnect. The distribution section for the switchboard is a QMB style fusible switchboard. Feeders serving this switchboard could not be verified at the time of survey.

The distribution section of MSB consist of four (4) fusible style cubicles. The distribution primarily serves various panels throughout the building. Also located in this room is a 600 amp, Schneider Electric Square D I-Line distribution panel serving branch panelboards located throughout the facility.

No type written directory or permanent plaques were found. All breakers were marked with handwritten load descriptions on the panel.

Incoming telephone demarcation point and voice/data racks are located in the same room separate from the main electrical room.

Lighting and HVAC equipment serving the core and common areas are fed through various, 225 amp and 100 amp 120/208V, 3 phase, 4 wire panel locations.



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There is an electrical room adjacent Wellness Center and Courtroom. This room electrical room panels appears in good condition. This electrical room consists of seven (7) 225 amp, 120/208V, 3 phase, 4 wire panels. The panels are Schneider electric Square D panels.

Deficiencies within main electrical rooms are as follows:

- a. Excessive wear and deterioration of main switchboard. Per new NEC 70E flash protection will be required.
- b. Foreign material within clearance space of electrical switchboard and panels.
- c. Dedicated room required for main electrical room.
- d. Conductors not within conduits.
- e. Opening not sealed within electrical rooms.
- f. Clearance requirements not meet per current NEC.
- g. Surge protection not provided.

Emergency Distribution System

Emergency power is primarily emergency battery units. Emergency lighting and footcandle (fc) requirements for buildings appears to be inadequate per current Florida Building Code (FBC). FBC requires a minimum 1 fc average in egress corridors.

Lightning Protection System

There is no lightning protection system currently installed on the roof of this buildings.

Fire Alarm

Building fire alarm system consists of a Silent Knight Model 5207 hard wired 8 zone fire alarm control panel. This panel is not an addressable fire alarm control panel and is very limited. We recommend the replacement of this panel with an addressable type fire alarm control panel. The buildings is not sprinkler; therefore the buildings life safety system consist of a smoke detection system and manual pull stations located throughout and fire alarm combination horn strobe located throughout corridors. Strobes spaced throughout visible but not per current FBC. Strobes are required to be located 15 feet from end of corridor and within 100 feet on center. Strobes are also required to be mounted 80 inches from the floor to the bottom of the strobe light. Smoke detectors located in corridors throughout corridors but not per current FBC. Smoke detectors are required to be located 30 feet on center and within 15 feet from end of corridors. Did not see location of existing fire alarm annunciator panel.

Typical Offices, Corridors and Similar Spaces

This building consists of various offices/departments, conference rooms, courtrooms and similar spaces. Typical configuration for each office is one duplex per wall with telephone and data outlet on one wall. Because of the age of the building, we will need to determine if circuits utilize shared neutral. Per current NEC code any renovations will requires dedicated neutrals per circuit or multipole circuit breakers.



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The standard light fixture is a 2x4 3-lamp parabolic light fixtures for corridors, lobbies and similar spaces and offices, fitness, with T12 lamps for offices and 2x4 prismatic troffers for the courtrooms and corridors. It appears light fixtures will requires re-lamping and lens cleaned.

Lighting controls throughout building is through the use of standard manual switching. Any renovations will require conformance to FBC Energy Code Chapter 405C and ASHAE 90.1. This will require upon entry to any offices or open offices so that only the 50% of the lights being turned on. It will also require time sleep to turn off all lighting end of day. ASHAE 90.1 will also require that 50% of the receptacle loads be turned off upon leaving and office or open office. ASHAE 90.1 will also require a lumen power budget of .9W/sq. ft. for general offices. The use of LED light fixtures would be required to meet this standard. All holding cells will require replacing to either minimum or maximum type security fixture.

Exterior Site Lighting

No exterior site lighting. Any new site lighting require either per the FBC or City of Daytona Beach will be design per IES recommended light levels for parking lights are 1 fc and 3 fc for security.



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Electrical Photographs



Photo 1: Existing FP&L transformer vault



Photo 2: Existing overhead primary serving Admin Building.



Photo 3: Existing utility meter outside of FP&L vault.



Photo 4: Existing 2000 amp switchboard with disconnect tapped off the switchboard buss.



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Photo 5: Existing 2000 amp switchboard.



Photo 6: Existing corridor and parabolic light fixture. (typical)



Photo 7: Existing emergency lighting. (typical)



Photo 8: Existing courtroom lighting prismatic troffer.



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Photo 9: Existing manual lighting controls.



Photo 10: Existing courtroom lighting parabolic.



Photo 11: Existing electrical room panels.

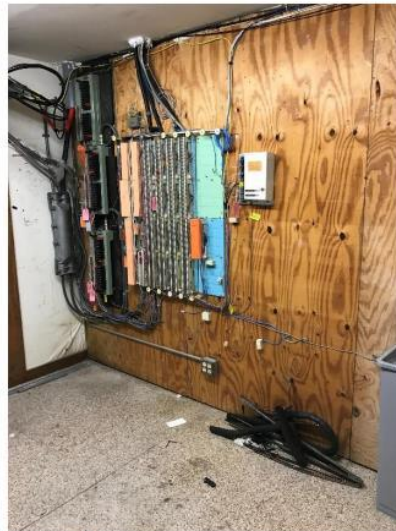


Photo 12: Existing incoming demarcation point.



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Photo 13: Existing communication room.



Photo 14: abandon boiler and associated electrical equipment.



Photo 15: Existing electrical room and communication room with clearance issues.



Photo 16: Abandon conduit and wire.



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Photo 17: Inadequate exterior lighting for egress and security.



Photo 18: Existing overhead electric serving fire pump.



Photo 19: Inadequate site lighting.



Photo 20: Roof with no lightning protection.



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Photo 21: Deteriorating disconnecting means for HVAC equipment.
(typical)



Photo 22: Loose termination on HVAC disconnecting means.



Photo 23: Separated fitting and conductors.



Photo 24: Separated wiring device.

END OF REPORT





**440 State Attorney and 442 Public Defender
Building Assessment
TLC Project No. 116109
March 21, 2017**

PLUMBING, FIRE SPRINKLER AND MECHANICAL

The site visit occurred the afternoon of January 11, 2017. Notes by MRH.

STATE'S ATTORNEY Impressions: An old 3-story building (converted residence) of approximately 6,000 sf.

Plumbing

- Restrooms are dated. Electric water heaters are relatively new.
- For significant upgrade/repurpose, expect to upgrade the restrooms per new occupancy and accessibility requirements. Fixture replacement may be necessary due to condition

Fire Protection

- There is no fire sprinkler system in the building.

Mechanical

- The building is cooled by four (4) small split DX A/C systems. Condition appears fair.
- Digital programmable thermostats are used.
- For significant upgrade/repurpose, expect to upgrade the A/C systems.

ELECTRICAL

General

The codes and standards covering electrical work include, but are not limited to the following:

These codes, societies, and association recommendations constitute minimum requirements and no reductions from design requirements will be permitted.

- 2014 Florida Building Code
- 2011 National Electrical Code NFPA 70
- 2014 Florida Energy Efficiency Code

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- American Society for Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Standard 90.1-2010

Power Distribution System

There are no electrical as-built drawings of the original construction that were provided to TLC. All items indicated were based on a field survey conducted stated above in preparing this report.

The existing 440 State Attorney building and 442 Public Defender Building main service feeding the building are fed overhead from South Beach Street. The service to each building is 120/208V 1-phase 4-wire. The main services runs along the property line and to each building via overhead weather head. There is one utility company meter for each building and located below each weather head. The existing main electrical panel for 440 State Attorney Building is located in the basement. The Public Defender Building the main panel is located in the corridor.

The existing main service panel for the 440 State Attorney Building is a Circuit Master Load center. The service panel is a 12 circuit panel. Feeders serving this panel could not be verified at the time of survey.

The existing main service panel for the 442 Public Defender Building is a Schneider Electric Square D NQOD 400 amp, 120/208V, 3 phase, 4 wire panel. The service panel is a 42 circuit panel. The use of phase 'C' is not utilized throughout this panel. Feeders serving this panel could not be verified at the time of survey.

No type written directory or permanent plaques were found. All breakers were marked with handwritten load descriptions on the panel.

A 125A load center in the 440 State Attorney Building with 20 circuits is located on the first floor primarily serving receptacle loads. A second load center is located on the second floor serving receptacle loads for that floor.

Incoming telephone is located on the first floor in a closet with the fire alarm panel located in the same location.

Deficiencies within main electrical rooms are as follows:

- a. Incoming service is single phase. Recommend 3 phase service in lieu of 1 phase depending new mechanical loads.
- b. Excessive wear and deterioration of existing loadcenter. Per new NEC 70E flash protection will be required.
- c. Foreign material within clearance space in front of existing loadcenters.
- d. Clearance requirements not meet per current NEC.
- e. Surge protection not provided.
- f. Public Defender Panel circuit breakers should be replaced and relocated from egress corridor to a dedicated electrical room.



440 State Attorney and 442 Public Defender
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Emergency Distribution System

Emergency power is primarily emergency battery units for both 440 State Attorney Building and 442 Public Defender Building. Emergency lighting and footcandle (fc) requirements for buildings appears to be inadequate per current Florida Building Code (FBC). FBC requires a minimum 1 fc average in egress corridors.

Lightning Protection System

There is no lightning protection system currently installed on the roof of each of these buildings.

Fire Alarm

Building fire alarm system for each building consists of a Silent Knight Model hard wired 8 zone fire alarm control panel. Exact model could not be verified. This panel is not an addressable fire alarm control panel and is very limited. We recommend the replacement of these panels with an addressable type fire alarm control panel. The buildings are not sprinkler; therefore the buildings life safety system consist of a smoke detection system and manual pull stations located throughout and fire alarm combination horn strobe located throughout corridors. Strobes spaced throughout visible but not per current FBC. Strobes are required to be located 15 feet from end of corridor and within 100 feet on center. Strobes are also required to be mounted 80 inches from the floor to the bottom of the strobe light. Smoke detectors located in corridors throughout corridors but not per current FBC. Smoke detectors are required to be located 30 feet on center and within 15 feet from end of corridors. Did not see location of existing fire alarm annunciator panel.

Typical Offices, Corridors and Similar Spaces

This buildings consists of various offices and conference rooms and similar spaces. Typical configuration for each office is one duplex per wall with telephone and data outlet on one wall. Because of the age of the building, we will need to determine if circuits utilize shared neutral. Per current NEC code any renovations will requires dedicated neutrals per circuit or multipole circuit breakers.

The standard light fixture is a 2x4 3-lamp prismatic light fixtures and 4 ft. wraparound light fixtures. It appears light fixtures will requires re-lamping and lens cleaned.

Lighting controls throughout building is through the use of standard manual switching. Any renovations will require conformance to FBC Energy Code Chapter 405C and ASHAE 90.1. This will require upon entry to any offices or open offices so that only the 50% of the lights being turned on. It will also require time sleep to turn off all lighting end of day. ASHAE 90.1 will also require that 50% of the receptacle loads be turned off upon leaving and office or open office. ASHAE 90.1 will also require a lumen power budget of .9W/sq. ft. for general offices. The use of LED light fixtures would be required to meet this standard. All holding cells will require replacing to either minimum or maximum type security fixture.



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Exterior Site Lighting

No exterior site lighting. Any new site lighting require either per the FBC or City of Daytona Beach will be design per IES recommended light levels for parking lights are 1 fc and 3 fc for security.



440 State Attorney and 442 Public Defender
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Electrical Photographs



Photo 1: Existing overhead electric for 440 State Attorney building.



Photo 2: Incoming service for 440 State Attorney Building.

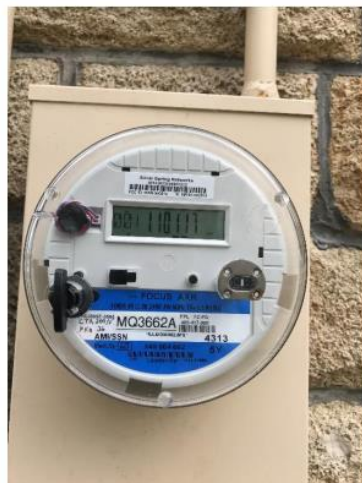


Photo 3: Existing utility meter outside of FP&L.



Photo 4: Missing 120V GFI receptacle require per code.



440 State Attorney and 442 Public Defender
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Photo 5: Main reception area.



Photo 6: Existing 2x4 prismatic troffer throughout building. typical)



Photo 7: Existing communication closet.



Photo 8: Existing fire alarm control panel.



440 State Attorney and 442 Public Defender
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Photo 9: Existing main distribution panel located in basement.



Photo 10: Existing grounding.



Photo 11: Existing disconnect means with clearance issues.



Photo 12: Existing 4 ft. wrap around light fixture.



440 State Attorney and 442 Public Defender
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Photo 13: Existing overhead electric to Public Defender Building.



Photo 14: Typical 2x4 prismatic troffer throughout office building.



Photo 15: Typical corridor lighting.



Photo 16: Main incoming panel for
Public Defender building.



**440 State Attorney and 442 Public Defender
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Photo 17: Existing data rack located in workroom.



Photo 18: Existing fire alarm Public Defender Building.



Photo 19: Inadequate site lighting for 440 State Attorney Building.



Photo 20: Inadequate site lighting Public Defender Building.

END OF REPORT



07 APPENDICES – B-BUILDING EVALUATION MATRIX

SEE SEPARATE ATTACHMENT FOR BUILDING EVALUATION MATRIX SHEETS

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07 APPENDICES – C- COUNTY BUILDINGS EXISTING FLOOR PLANS

SEE SEPARATE ATTACHMENT FOR COUNTY BUILDING EXISTING FLOOR PLANS SHEETS.

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07 APPENDICES – D- OPERATIONAL OPTIONS - PROS & CONS

SEE SEPARATE ATTACHMENT FOR OPERATIONAL OPTIONS – PROS & CONS SHEETS.

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07 APPENDICES – E- CONCEPTUAL ESTIMATE

CONCEPTUAL ESTIMATE – VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS

28 July 2017

VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS

VOLUSIA COUNTY, FLORIDA

TASK 3 – CONCEPTUAL ESTIMATE

Prepared for:

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CMI No. J-862



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- II. SUMMARY OF ALL BID ITEMS
- III. BID ITEM 01 – NEW 5-STORY COURTHOUSE BUILDING
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- V. BID ITEM 03 – RENOVATE EXISTING 3-STORY S.J. FOXMAN BUILDING
- VI. BID ITEM 04 – NEW 2-STORY PARKING GARAGE
- VII. BID ITEM 05 – SITEWORK
- VIII. EXHIBITS
- IX. ABBREVIATIONS

NARRATIVE

Volusia County Judicial Space Analysis
Volusia County, Florida
Task 3 – Conceptual Estimate

28 July 2017
Narrative Page 1

TASK DESCRIPTION

CMI is retained to provide Conceptual Estimating services for this project on the basis of fair market value for construction. It assumes there will be at least six general contractors and at least six subcontractors competing for this project and for each major trade, respectively. The pricing structure does not allow for onerous contract terms nor drastic changes in the construction market.

PROJECT DESCRIPTION

The scope of this project generally consists of:

- Construction of new 5-story courthouse and 4-story office building. Renovation of the existing 3-story S.J. Foxman building and construction of a new 2-story parking garage.
- Mechanical and electrical related work.
- Site preparation, site improvements and site utilities to accommodate the construction.

ESTIMATE STRUCTURE AND FLOOR AREA

The estimate is separated into the following Bid Items (parts):

BID ITEM DESCRIPTION	AREA (sf)
BI-01: New 5-Story Courthouse Building	156,898
BI-02: New 4-Story Office Building	83,676
BI-03: Renovate Existing 3-Story S.J. Foxman Building	55,974
BI-04: New 2-Story Parking Garage (255 spaces)	104,500
BI-05: Sitework	14.36 (ac)

SCOPE OF SERVICES

Task No. 1 (complete)

Provide rough costs per square foot for new construction and for renovation. These prices are based on 2017 Dollars. They do not include soft costs and escalation.

Task No. 2 (complete)

This R2 estimate is revised to provide a conceptual estimate for four options. The sitework in Option 6 is based on an assumed future 10-acre site. The unit prices used are a collaborative effort by CMI & Dewberry to establish *design-to-cost* allowances.

Task No. 3 (current)

Refine the conceptual estimate for Option 3. This is a Uniformat Estimate with Prime Contractor and Level Two Summary reports, with Prime Contractor's markup. It includes phasing where applicable.

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CMI No. J-862

Volusia County Judicial Space Analysis
Volusia County, Florida
Task 3 – Conceptual Estimate

28 July 2017
Narrative Page 2

INCLUSIONS AND ASSUMPTIONS

General

This estimate is prepared in Year 2017 Dollars. Cost escalation is not included. The construction will be phased so that operations in the existing courthouse (S.J. Foxman) and the Administration buildings will be ongoing.

BI-01 & 02 (New Five Story Courthouse and Four Story Office Buildings)

Standard Foundation

Pile foundation system including pile caps and dewatering.

Slab on Grade

4" Interior slab on grade with wwf on vapor barrier; reinforced Sallyport slab on grade (8"); elevator pit.

Floor Construction

Steel framed upper floor construction consisting of composite concrete and metal deck, steel beams, girders and columns; spray fireproofing on beams, girders and columns. Bridge construction to connect the Buildings at Level 2.

Roof Construction

Steel framed roof construction consisting of joists and metal deck; spray fireproofing on roof joists, beams and metal deck. Note: the Sallyport roof will not be fireproofed.

Stair Construction

Steel framed, metal pan stairs filled with concrete, including steel handrails; interior public access stair and handrails from level 1 to level 2 in the Main Lobby of the 5-story building.

Exterior Walls

Precast concrete exterior wall with related finishes. Sallyport enclosure (wall and secure gates).

Exterior Doors & Windows

Fixed glazing in aluminum storefront system; fixed aluminum windows; storefront doors in aluminum frame; painted hollow metal doors and frames including finish hardware.

Roof Covering

Single-ply membrane roof covering (80 mil thermoplastic polyolefin) and insulation, including metal trim, scuppers and downspouts.

Partitions

Gypsum board on metal studs; concrete masonry unit partitions; secure corridors; interior storefront and windows; interior storefront doors; painted interior doors and frames with finish door hardware; caulking and sealants.

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Volusia County Judicial Space Analysis
Volusia County, Florida
Task 3 – Conceptual Estimate

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Interior Finishes

Wall: painted walls in general areas; ceramic tiles in restrooms and breakrooms (wet wall areas); wood paneling wainscot to 5'-0" height in courtrooms.

Floor: vinyl composition floor tiles; carpet tiles; ceramic / porcelain tiles in restrooms and breakrooms; sealed concrete flooring in MEP rooms; secure wall at holding cells; courtroom finishes.

Ceiling: acoustic panel ceiling; painted gypsum board ceiling / soffits; paint exposed ceiling; secure ceiling at holding cells; courtroom finishes.

Specialties

Toilet partitions, urinal screens and toilet accessories; exterior / interior signage; lockers; fire extinguishers and cabinets; visual display boards; miscellaneous metals; acoustic wall and ceiling panels.

Conveying

Passenger hydraulic elevators for in custody and secure areas and the public.

Plumbing

Plumbing fixtures and equipment including pipings; plumbing connections to the restrooms / kitchen / breakroom equipment. Special (secure) plumbing equipment for the holding cells. Commission and test systems.

HVAC

System includes air cooled chiller, air handlers, VAV boxes and electric reheat; air distribution includes sheet metal supply, return air and exhaust duct including insulation; air distribution devices, louvers and dampers; DDC control system including control devices, conduit, wiring, software, hardware and programming; test, balance and support of owner commissioning.

Fire Protection

Wet pipe sprinkler system and systems testing with fire controller and jockey pumps as required.

Service and Distribution

Electrical service from a utility transformer that will provide service through main distribution panels, switchboards, lighting and power.

Lighting and Power

Fluorescent, LED and HID lighting for the interior and exterior areas, with incandescent lighting for task specific areas. General purpose power and small HVAC loads to match the equipment; connection of equipment.

Special Electrical Systems

Special systems included are: fire alarm, voice and data, intercom, lightning protection, infrastructure for security access control and CCTV systems.

Fixed and Moveable Equipment

An allowance is included for fixed and moveable equipment, including security equipment.

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Volusia County Judicial Space Analysis
Volusia County, Florida
Task 3 – Conceptual Estimate

28 July 2017
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Furnishings

Casework / millwork (including at Judges' chambers); miscellaneous furnishings and courtroom seating.

BI-03 (Renovation of the Existing S.J. Foxman Building)

Building Envelope

Clean, seal patch, prep and paint exterior walls.

Interiors

Patch, prep and refinish interior partitions; floor and ceiling finishes, and interior doors and windows; new general specialties.

Services

Upgrade the plumbing system (new fixtures only - reuse piping); HVAC system (rework existing ducts, reuse existing supply and return grilles); rework fire sprinkler heads to accommodate ceiling replacement.

Renovate / rework the electrical system and selective upgrade of special electrical systems.

Equipment and Furnishings

Casework and miscellaneous furnishings (allowances).

Demolition

Selective building interior demolition including finishes and MEP demolition.

BI-04 (New 2-Story Parking Garage)

Special Foundations

Concrete foundation system (including grade beams).

Slab on Grade

Reinforced concrete slab on grade on compacted fill; and elevator pit.

Floor Construction

Precast concrete double tee upper floor construction.

Roof Construction

Precast concrete double tee roof construction (2nd floor). Penthouse roof for the stairs and elevator.

Stair Construction

Precast concrete stairs with metal handrails.

Exterior Closure

Precast concrete exterior panels; hollow metal doors, frames and finish hardware.

Roof Covering

Membrane roof covering and accessories (penthouses); waterproof / traffic coating on roof slab at top level parking.

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Volusia County Judicial Space Analysis
Volusia County, Florida
Task 3 – Conceptual Estimate

28 July 2017
Narrative Page 5

Partitions

Interior concrete walls at the elevator and stair cores. Allowances are included for caulking, sealants and miscellaneous metals.

Interior Finishes

Floor: Concrete sealer / traffic coating (level 1).

Specialties

An allowance is included for parking striping / directional signs / logos / etc.

Conveying

Hydraulic passenger elevators; allowance for upgrades to the cab finishes.

Plumbing

Area drains and roof drains will be installed. Above and below grade storm systems. Roof drain system for rain water collection. Wall hydrants as needed.

HVAC

Elevator machine rooms, storage and electrical rooms will be conditioned. Exhaust system for the stairwells.

Fire Protection

A new dry pipe fire sprinkler system.

Service and Distribution

New 277/ 480 volt underground electrical service from the local utility, distribution, lighting and power panelboards.

Lighting and Power

Fluorescent, LED and HID lighting for the interior and exterior areas. General purpose, power and small HVAC loads to match the equipment; connection of equipment.

Special Electrical Systems

The special systems included are: fire alarm, CCTV and communications (Blue Phone Systems).

Furnishings

Allowances for parking equipment, parking kiosk and miscellaneous furnishings.

BI-05 (Sitework)

Site Preparation

Site clear and grub; site stripping; site grading; silt fence; dewater, demuck and fill existing wet ponds; demolish buildings and dispose of debris; demolish asphalt pavement and base; demolish concrete pavement / sidewalks; remove brick pavers; remove (portion) of metal picket fence and gates; remove site utilities, miscellaneous site demolition and removal.

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Site Improvements

Asphalt pavement on limerock base and stabilize subbase for drives and parking lot; concrete sidewalks; concrete steps on grade; replace (portion) of metal picket fence and gates; screen wall and double metal gate (automatic and secured) at judges parking; site furnishings; landscaping and irrigation.

Site Utilities

Potable water, sanitary sewer and storm drainage systems; new pond construction; site electrical (lighting and power, communications, special systems and demolition).

EXCLUSIONS

General Exclusions

- i. Soft costs, e.g., fees for land acquisition, real estate, professional services, etc.
- ii. Local/State/Federal Governmental fees and charges; traffic, utility and other similar impact assessments.
- iii. Costs usually in Owner's separate budget, e.g., field inspection, testing, threshold inspection, etc.
- iv. Drastic changes in material and labor prices; long term service agreement costs; code upgrades
- v. Purchase, delivery and installation of furniture, fittings and equipment (FF&E) items.
- vi. Items marked on the drawings as "not in contract", "NIC", "by others" or similar language.
- vii. Construction contingency; acceleration costs; overtime.
- viii. Double-handling; remote staging of materials; remote dumpsters.

Project-specific Exclusions

- i. Asbestos, lead paint or other hazardous material removal.
- ii. Renovation of the remaining area (29,748 sf) of the S.J. Foxman Building.
- iii. New distribution devices for the S.J. Foxman Building's HVAC renovation.
- iv. Curtainwall systems.
- v. Escalation costs.
- vi. Code upgrades.

INFORMATION USED TO PREPARE THIS ESTIMATE

This estimate was produced from the following Conceptual Design documents, prepared by Dewberry Architects, Inc. and conversations with members of the project team:

TITLE	DATE
Program Summary (<i>Revised 06.30.2017</i>)	07/03/2017
SJ Foxman Center – Grading and Drainage Plan (sheet no. 205)	07/05/2017
Existing County Property – Parking Summary	07/05/2017
Option 1-C Breakdown (<i>Revised 07.05.2017</i>) and Site Plan	07/05/2017
Department Plans (Site and 1 st Level thru 5 th Level)	07/05/2017

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CONSTRUCTION COST RESPONSIBILITY

Requests for modifications of any apparent errors or omissions in this document must be made to CMI within five (5) days of the date of this estimate, or else it will be taken that the contents have been concurred with and accepted. CMI's statement of probable construction cost estimate is made on the basis of experience, qualifications, and best judgment as a professional construction cost consultant. CMI can not and does not warrant, guarantee or represent that proposals, bids or actual costs will not vary from a statement of probable construction cost.

NOTES AND QUERIES

The following pages are notes of conversations and/ or queries/ photographs used in preparation of this estimate.

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Cost Management Inc.

Attention: Christopher Getz
 Firm: Dewberry.
 Tel No.: (321) 217-6991
 Direct No.: (321) 354-9767
 E-Mail Address: cgetz@Dewberry.com

Project: Volusia County Judicial Space Analysis
 Location: Volusia County, Florida, 32114
 Date / Time: 14 July 2017
 CMI Ref No.: J-862_Conceptual Estimate – Task 3
 From: Ganesh Jiawon

QUERY No.	REFERENCE (Drawing No)	DESCRIPTION	Response by / Date of Response	RESPONSE
		This E-Mail is for Queries Nos. 1 thru' 11.		Please use the space in this column to provide answers and / or comments.
1		Please provide the following dates: 1. Construction start date: 2. Construction end date:		1. January 2020 2. July 2021 + some phased renovation of Foxman
2		Are there any restrictions on time of work (i.e. work to be done in the day or at night)?		May be some work on weekends or night for structure and exterior envelope, due to disruption of courts. Inside work will be fine during the day.
3		Will this Project be a lump sum hard bid by a general contractor, or a negotiated GMP contract with a construction manager?		The county has not decided. Probably safe to assume there will be a CM during design.
4		Is there any other concurrent project that could affect this contractor's performance, scheduling, etc.?		no
5		We will structure the Estimate as follows: Bid Item 1 - New 5-Story Courthouse Bldg. Bid Item 2 - New 4-Story Office Bldg. Bid Item 3 - Renovate Existing 3-Story S.J Foxman Bldg. Bid Item 4 - New 2-Story Parking Garage. Bid Item 5 – Sitework (including Building Demolition). Please let us know if this is acceptable.		Correct.



Cost Management Inc.

QUERY No.	REFERENCE (Drawing No)	DESCRIPTION	Response by / Date of Response	RESPONSE
6	Building Construction Type	We will base the estimate on a structural steel frame for: 1. New 5-Story Courthouse Bldg. 2. New 4-Story Office Bldg. Please confirm.		Correct. Please allow for assembly occupancy risk factor on steel sizes of courts building.
7	Staff Parking Garage	We assume the Staff Parking Garage (255 spaces) will be 2-Story of precast concrete deck. Please confirm.		correct
8	Bid Item 3 - Existing 3-Story S.J. Foxman Bldg.	The "Program Summary - Daytona" sheet calls for a total building area of 85,722 sf for the S.F. Foxman Bldg. Option 1-C Space Analysis sheet calls for renovation on all three levels for a total of 55,974 sf. There is a difference of 29,748 sf space remaining. 1. What is the scope of work for these spaces? 2. Will these spaces be renovated, if so what are the categories?		55,974 sf is the department areas. The other area is for all other spaces that are not being changed. i.e. public areas, corridors, stairs, mechanical, elevators, etc.
9	Existing Buildings for Demolition	We assume the following for existing bldgs. for demolition: 1. Insurance Bldg. = 2-Story 2. Motorbike Shop Storage (west) = 2-Story 3. Motorbike Shop = 2-Story 4. Administration Bldg. = 1-Story Please confirm. Also, are there any information available with the existing buildings area (for demolition) that you can share with us?		Correct. We sent areas of buildings previously. I will try to dig them up again.
10	Judges' Parking	The Judges' Parking seem to be extending towards the east, are we demolishing the existing parking lot and enclosure?		We will be adding to it to the east most likely. (judge's parking)



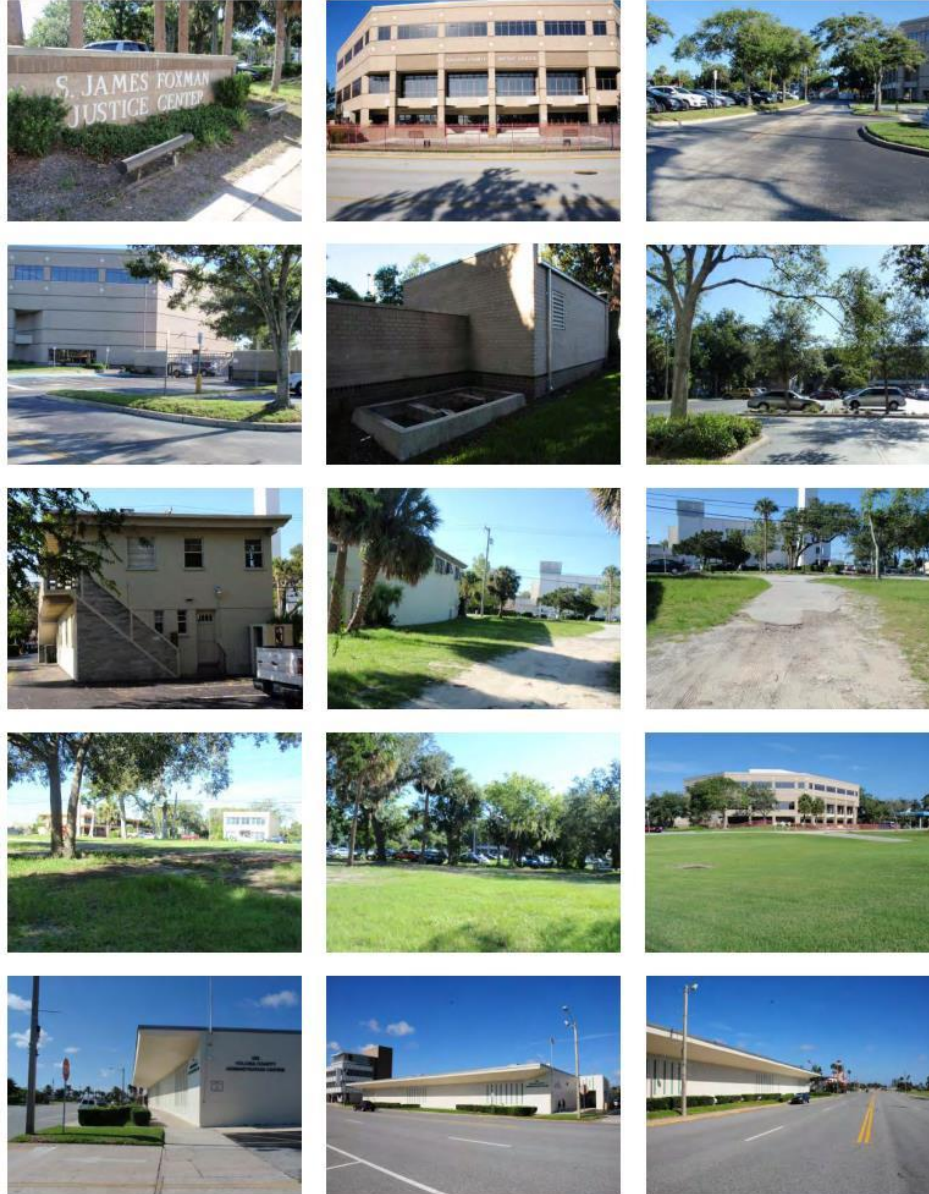
Cost Management Inc.

QUERY No.	REFERENCE (Drawing No)	DESCRIPTION	Response by / Date of Response	RESPONSE
11	Sitework at Foxman Bldg. Perimeter	<p>We assume there will be no work required (renovate, modify, etc.) for the following:</p> <ol style="list-style-type: none"> Existing Sallyport and asphalt drive, north of the existing Foxman Bldg. Concrete walk/ pavement and landscape areas from the edge of the asphalt drive to the Building at the main entrance (west/ south). The existing (assume) Generator Bldg & Dumpster enclosure. <p>Please confirm.</p>		<ol style="list-style-type: none"> Correct. Correct. Correct.



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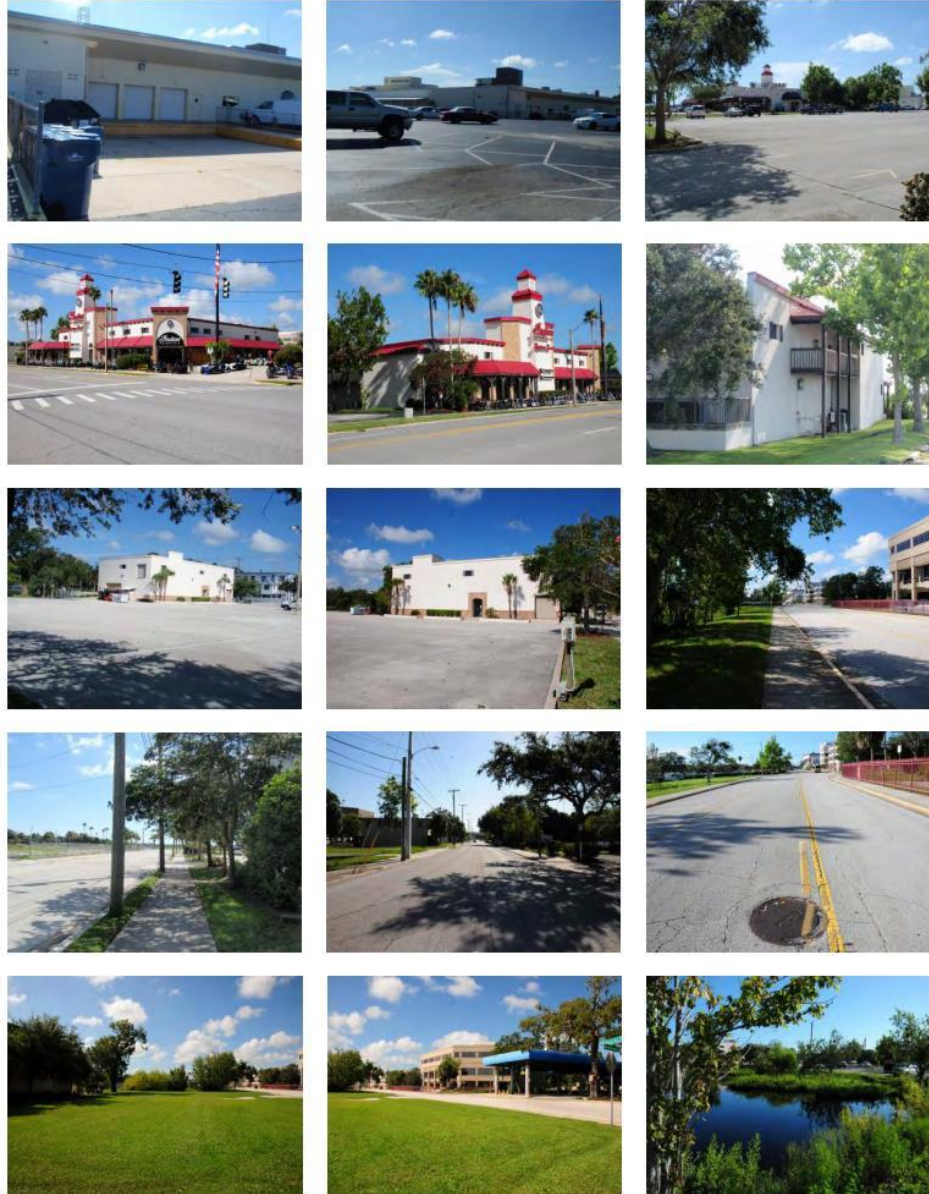
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SUMMARY OF ALL BID ITEMS

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Summary of all Bid Items

Description	Estimated Cost with Markups (\$)
Bid Item 01 - New 5-Story Courthouse Building	56,463,384
Bid Item 02 - New 4-Story Office Building	20,077,352
Bid Item 03 - Renovate Existing 3-Story S.J. Foxman Building	4,039,459
Bid Item 04 - New 2-Story Parking Garage	5,586,064
Bid Item 05 - Sitework	5,401,044
TOTAL CONSTRUCTION COST	91,567,303

BID ITEM 01: NEW 5-STORY COURTHOUSE BUILDING

PRIME CONTRACTOR SUMMARY REPORT

Project Element: BI-01: NEW 5-STORY COURTHOUSE BUILDING
 Prime Contractor: General Contractor

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Markup Description	Markup	Total
BI-01: NEW 5-STORY COURTHOUSE BUILDING		
Cost to Prime for GC 01 General Contractor		\$37,392,567
1 - Design and Estimating Contingency	20.000%	\$7,478,513
2 - General Conditions	12.000%	\$5,384,530
3 - Overhead and Fee	8.000%	\$4,020,449
4 - Construction Phasing	3.000%	\$1,628,282
5 - Bond (CM and Subs)	1.000%	\$559,043
Total Estimate with Prime Contractor Markups	51.002%	\$56,463,384

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<u>LEVEL DESCRIPTION</u>	<u>QTY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>TOTAL</u>
<u>BI-01: NEW 5-STORY COURTHOUSE BUILDING</u>	156,898	sf	\$359.87	\$56,463,384
A SUBSTRUCTURE	156,898	sf	\$14.58	\$2,287,915
FOUNDATIONS	156,898	sf	\$14.58	\$2,287,915
STANDARD FOUNDATION	156,898	sf	\$12.08	\$1,895,348
SLAB ON GRADE	156,898	sf	\$2.50	\$392,566
B BUILDING ENVELOPE	156,898	sf	\$99.65	\$15,634,846
SUPERSTRUCTURE	156,898	sf	\$56.61	\$8,882,582
FLOOR CONSTRUCTION	156,898	sf	\$28.77	\$4,514,105
FLOOR CONSTRUCTION (BRIDGES)	156,898	sf	\$18.29	\$2,869,031
ROOF CONSTRUCTION	156,898	sf	\$7.54	\$1,182,343
STAIR CONSTRUCTION	156,898	sf	\$2.02	\$317,103
EXTERIOR CLOSURE	156,898	sf	\$36.52	\$5,730,512
ROOFING	156,898	sf	\$6.51	\$1,021,753
C INTERIORS	156,898	sf	\$79.18	\$12,423,238
INTERIOR CONSTRUCTION	156,898	sf	\$40.69	\$6,384,954
PARTITIONS	156,898	sf	\$36.47	\$5,721,583
INTERIOR SPECIALTIES	156,898	sf	\$4.23	\$663,372
INTERIOR FINISHES	156,898	sf	\$38.49	\$6,038,283
WALL, FLOOR & CEILING FINISHES	156,898	sf	\$38.49	\$6,038,283
D SERVICES	156,898	sf	\$150.22	\$23,569,865
CONVEYING SYSTEMS	156,898	sf	\$9.79	\$1,536,442
FIRE PROTECTION SYSTEMS	156,898	sf	\$6.42	\$1,006,904
PLUMBING	156,898	sf	\$30.20	\$4,738,371
H.V.A.C.	156,898	sf	\$48.32	\$7,581,393
ELECTRICAL	156,898	sf	\$55.49	\$8,706,756
E EQUIPMENT & FURNISHINGS	156,898	sf	\$16.24	\$2,547,521
FIXED & MOVEABLE EQUIPMENT	156,898	sf	\$4.53	\$710,756
CASEWORK / FURNISHINGS	156,898	sf	\$11.71	\$1,836,766

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BID ITEM 02: NEW 4-STORY OFFICE BUILDING

PRIME CONTRACTOR SUMMARY REPORT

Project Element: BI-02: NEW 4-STORY OFFICE BUILDING
Prime Contractor: General Contractor

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Markup Description	Markup	Total
BI-02: NEW 4-STORY OFFICE BUILDING		
Cost to Prime for GC 02 General Contractor		\$13,296,117
1 - Design and Estimating Contingency	20.000%	\$2,659,223
2 - General Conditions	12.000%	\$1,914,641
3 - Overhead and Fee	8.000%	\$1,429,598
4 - Construction Phasing	3.000%	\$578,987
5 - Bond (CM and Subs)	1.000%	\$198,786
Total Estimate with Prime Contractor Markups	51.002%	\$20,077,352

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<u>LEVEL DESCRIPTION</u>	<u>QTY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>TOTAL</u>
<u>BI-02: NEW 4-STORY OFFICE BUILDING</u>	83,676	sf	\$239.94	\$20,077,352
A SUBSTRUCTURE	83,676	sf	\$14.79	\$1,237,735
FOUNDATIONS	83,676	sf	\$14.79	\$1,237,735
STANDARD FOUNDATION	83,676	sf	\$12.08	\$1,010,817
SLAB ON GRADE	83,676	sf	\$2.71	\$226,918
B BUILDING ENVELOPE	83,676	sf	\$71.91	\$6,016,938
SUPERSTRUCTURE	83,676	sf	\$34.00	\$2,844,771
FLOOR CONSTRUCTION	83,676	sf	\$22.80	\$1,908,183
ROOF CONSTRUCTION	83,676	sf	\$10.11	\$845,987
STAIR CONSTRUCTION	83,676	sf	\$1.08	\$90,601
EXTERIOR CLOSURE	83,676	sf	\$31.84	\$2,664,575
ROOFING	83,676	sf	\$6.07	\$507,592
C INTERIORS	83,676	sf	\$37.45	\$3,133,533
INTERIOR CONSTRUCTION	83,676	sf	\$22.35	\$1,870,011
PARTITIONS	83,676	sf	\$18.12	\$1,516,225
INTERIOR SPECIALTIES	83,676	sf	\$4.23	\$353,786
INTERIOR FINISHES	83,676	sf	\$15.10	\$1,263,521
WALL, FLOOR & CEILING FINISHES	83,676	sf	\$15.10	\$1,263,521
D SERVICES	83,676	sf	\$107.79	\$9,019,481
CONVEYING SYSTEMS	83,676	sf	\$10.39	\$869,769
FIRE PROTECTION SYSTEMS	83,676	sf	\$4.53	\$379,056
PLUMBING	83,676	sf	\$24.16	\$2,021,634
H.V.A.C.	83,676	sf	\$31.71	\$2,653,395
ELECTRICAL	83,676	sf	\$37.00	\$3,095,627
E EQUIPMENT & FURNISHINGS	83,676	sf	\$8.00	\$669,666
FIXED & MOVEABLE EQUIPMENT	83,676	sf	\$2.27	\$189,528
CASEWORK / FURNISHINGS	83,676	sf	\$5.74	\$480,138

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BID ITEM 03: RENOVATE EXISTING S.J. FOXMAN BUILDING

PRIME CONTRACTOR SUMMARY REPORT

Project Element: BI-03: RENOVATE 3-STORY S.J. FOXMAN
 Prime Contractor: BUILDING
 General Contractor

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Markup Description	Markup	Total
BI-03: RENOVATE 3-STORY S.J. FOXMAN		
BUILDING		\$2,675,109
Cost to Prime for GC 03 General Contractor		
1 - Design and Estimating Contingency	20.000%	\$535,022
2 - General Conditions	12.000%	\$385,216
3 - Overhead and Fee	8.000%	\$287,628
4 - Construction Phasing	3.000%	\$116,489
5 - Bond (CM and Subs)	1.000%	\$39,995
Total Estimate with Prime Contractor Markups	51.002%	\$4,039,459

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<u>LEVEL DESCRIPTION</u>	<u>QTY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>TOTAL</u>
<u>BI-03: RENOVATE 3-STORY S.J. FOXMAN BUILDING</u>	55,974	sf	\$72.17	\$4,039,458
RENOVATION	55,974	sf	\$72.17	\$4,039,458
B BUILDING ENVELOPE	55,974	sf	\$3.01	\$168,367
EXTERIOR CLOSURE	55,974	sf	\$3.01	\$168,367
C INTERIORS	55,974	sf	\$21.90	\$1,225,564
INTERIOR CONSTRUCTION	55,974	sf	\$9.82	\$549,391
PARTITIONS	55,974	sf	\$6.04	\$338,087
INTERIOR SPECIALTIES	55,974	sf	\$3.78	\$211,304
INTERIOR FINISHES	55,974	sf	\$12.08	\$676,173
D SERVICES	55,974	sf	\$38.13	\$2,134,172
FIRE PROTECTION SYSTEMS	55,974	sf	\$2.27	\$126,782
PLUMBING	55,974	sf	\$8.68	\$485,999
H.V.A.C.	55,974	sf	\$10.57	\$591,652
ELECTRICAL	55,974	sf	\$16.61	\$929,738
E EQUIPMENT & FURNISHINGS	55,974	sf	\$4.23	\$236,661
CASEWORK / FURNISHINGS	55,974	sf	\$4.23	\$236,661
F DEMOLITION	55,974	sf	\$4.91	\$274,695

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BID ITEM 04: NEW 2-STORY PARKING GARAGE

PRIME CONTRACTOR SUMMARY REPORT

Project Element: BI-04: NEW 2-STORY PARKING GARAGE
Prime Contractor: General Contractor

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Markup Description	Markup	Total
BI-04: NEW 2-STORY PARKING GARAGE		
Cost to Prime for GC 04 General Contractor		\$4,156,713
1 - Design and Estimating Contingency	10.000%	\$415,671
2 - General Conditions	12.000%	\$548,686
3 - Overhead and Fee	8.000%	\$409,686
4 - Bond (CM and Subs)	1.000%	\$55,308
Total Estimate with Prime Contractor Markups	34.387%	\$5,586,064

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<u>LEVEL DESCRIPTION</u>	<u>QTY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>TOTAL</u>
<u>BI-04: NEW 2-STORY PARKING GARAGE</u>	104,500	sf	\$53.46	\$5,586,063
01 SUBSTRUCTURE	104,500	sf	\$9.87	\$1,031,585
SPECIAL FOUNDATION CONDITIONS	104,500	sf	\$6.72	\$702,170
SLAB ON GRADE	104,500	sf	\$3.15	\$329,415
02 SUPERSTRUCTURE	104,500	sf	\$16.16	\$1,688,903
FLOOR CONSTRUCTION	104,500	sf	\$15.45	\$1,614,990
ROOF CONSTRUCTION	104,500	sf	\$0.19	\$20,158
STAIR CONSTRUCTION	104,500	sf	\$0.51	\$53,755
03 EXTERIOR CLOSURE	104,500	sf	\$5.80	\$606,352
EXTERIOR WALLS	104,500	sf	\$5.68	\$593,451
EXTERIOR PERSONNEL DOORS	104,500	sf	\$0.12	\$12,901
04 ROOFING	104,500	sf	\$2.12	\$221,402
ROOF COVERINGS	104,500	sf	\$2.12	\$221,402
05 INTERIOR CONSTRUCTION	104,500	sf	\$0.94	\$98,606
PARTITIONS	104,500	sf	\$0.61	\$63,498
INTERIOR SPECIALTIES	104,500	sf	\$0.34	\$35,108
06 INTERIOR FINISHES	104,500	sf	\$0.50	\$52,663
FLOORING & FLOOR FINISHES	104,500	sf	\$0.50	\$52,663
07 CONVEYING SYSTEMS	104,500	sf	\$0.46	\$48,379
ELEVATORS	104,500	sf	\$0.46	\$48,379
08 PLUMBING	104,500	sf	\$2.35	\$245,759
PLUMBING FIXTURES	104,500	sf	\$2.35	\$245,759
09 H.V.A.C.	104,500	sf	\$0.20	\$21,065
DISTRIBUTION SYSTEMS	104,500	sf	\$0.20	\$21,065
10 FIRE PROTECTION SYSTEMS	104,500	sf	\$2.15	\$224,694
FIRE PROTECTION	104,500	sf	\$2.15	\$224,694
11 ELECTRIC POWER & LIGHTING	104,500	sf	\$8.60	\$898,777
SERVICE AND DISTRIBUTION	104,500	sf	\$2.89	\$301,933
LIGHTING & BRANCH WIRING	104,500	sf	\$5.71	\$596,844

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<u>LEVEL DESCRIPTION</u>	<u>QTY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>TOTAL</u>
12 ELECTRICAL SYSTEMS	104,500	sf	\$3.90	\$407,258
COMMUNICATION, SECURITY, & ALARM SYSTEMS	104,500	sf	\$3.90	\$407,258
EQUIPMENT & FURNISHINGS	104,500	sf	\$0.39	\$40,618
FIXED & MOVEABLE EQUIPMENT	104,500	sf	\$0.32	\$33,597
CASEWORK / FURNISHINGS	104,500	sf	\$0.07	\$7,022

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BID ITEM 05: SITEWORK

PRIME CONTRACTOR SUMMARY REPORT

Project Element: BI-05: SITEWORK
Prime Contractor: General Contractor

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Markup Description	Markup	Total
BI-05: SITEWORK		
Cost to Prime for GC 05 General Contractor		\$3,576,812
1 - Design and Estimating Contingency	20.000%	\$715,362
2 - General Conditions	12.000%	\$515,061
3 - Overhead and Fee	8.000%	\$384,579
4 - Construction Phasing	3.000%	\$155,754
5 - Bond (CM and Subs)	1.000%	\$53,476
Total Estimate with Prime Contractor Markups	51.002%	\$5,401,044

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<u>LEVEL DESCRIPTION</u>	<u>QTY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>TOTAL</u>
<u>BI-05: SITEWORK</u>	14.36	ac	\$376,117.25	\$5,401,044
G SITE PREPARATION	14.36	ac	\$119,747.09	\$1,719,568
SITE CLEARING	14.36	ac	\$14,398.78	\$206,767
SITE EARTHWORK	14.36	ac	\$56,481.23	\$811,071
SITE DEMOLITION	14.36	ac	\$48,867.07	\$701,731
H SITE IMPROVEMENTS	14.36	ac	\$180,676.70	\$2,594,517
PAVEMENTS	14.36	ac	\$157,016.45	\$2,254,756
SITE DEVELOPMENT	14.36	ac	\$9,755.69	\$140,092
LANDSCAPING	14.36	ac	\$11,262.03	\$161,723
SITE FURNISHINGS	14.36	ac	\$2,642.53	\$37,947
I SITE CIVIL/ MECHANICAL UTILITIES	14.36	ac	\$46,701.14	\$670,628
ON-SITE UTILITIES	14.36	ac	\$46,701.14	\$670,628
J SITE ELECTRICAL	14.36	ac	\$28,992.31	\$416,330
ELECTRICAL	14.36	ac	\$28,992.31	\$416,330

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EXHIBITS

OPTION 1-C

REVISED 07.05.2017

NEW COURTHOUSE		(11 courtrooms) + 6 (Hearing Rooms) + 16 (chambers)
5 STORIES		
	38,683 OFFICE SPACE	
	118,215 COURT SPACE	
SUBTOTAL		156,898 BGSF
NEW OFFICE		
4 STORIES		
	83,676 OFFICE SPACE	
SUBTOTAL		83,676 BGSF
RENOVATION		
S. J. FOXMAN BUILDING		
	26,555 OFFICE SPACE	LIGHT RENOVATION (3 rd LEVEL)
	18,333 COURT SPACE	FINISH UPDATES (2 nd LEVEL CARPET, PAINT ONLY)
	11,086 OFFICE SPACE	MEDIUM RENOVATION (1 st LEVEL)
SUBTOTAL		55,974 DGSF
DEMOLITION		
	4,130 sf (2 story) (2,065 per story) ((Built 1956, Concrete)	

VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS

Page 35 of 43



PROGRAM SUMMARY - DAYTONA

EXISTING COURTHOUSE	NEW COURTHOUSE	NEW OFFICE
S.J. FOXMAN 3 STORIES	COURTHOUSE ADDITION 5 STORIES	OFFICE ADDITION 4 STORIES
3 Courtrooms 2 Hearing rooms (Family) 6 Chambers (Family)	11 Courtrooms 6 Hearing rooms 16 Chambers	State Attorney
Clerk of the Court (family)	Clerk of the Court	Public Defender
Law Library	Jury Assembly	Other Government Agencies (~20,900 bgsf)
Case management / Self Help / General Magistrate / Teen Court	Drug Court Support / pretrial / UA	
Courts Administration	Court IT / Digital Court Reporting / Interpreter Services	
Public Defender (Juvenile)	Sheriff (shared staff)	
Public Defender Appeals	Sheriff / Holding	
Guardian Ad Litem		
Holding (existing juvenile)		
55,974 DGSF 85,722 BGSF	116,221 DGSF 156,898 BGSF	73,213 DGSF 83,676 BGSF
LITIGATION TYPES:	LITIGATION TYPES:	
FAMILY	CRIMINAL / TRAFFIC / CIVIL	

 06.30.2017 

VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS

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EXISTING COUNTY PROPERTY

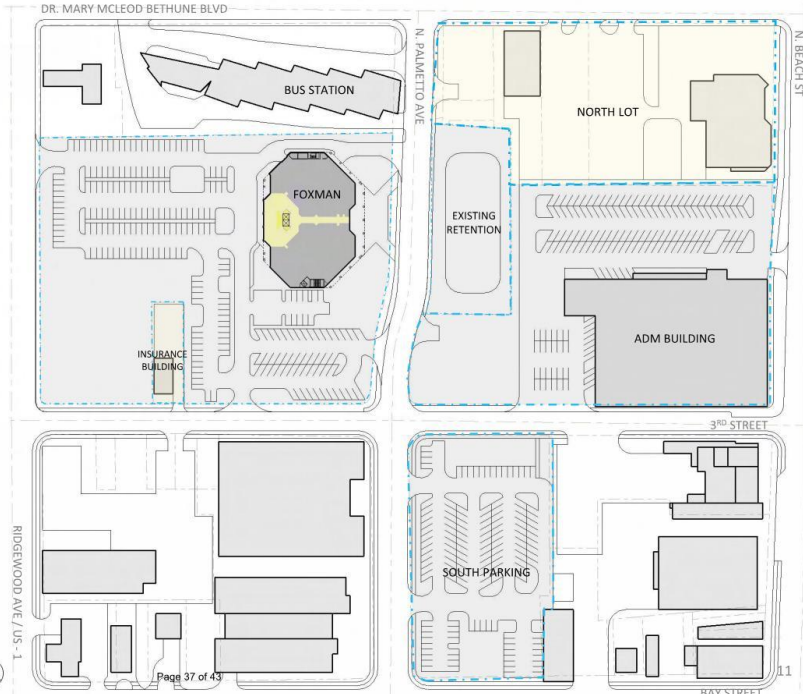
PARKING SUMMARY

MAIN PARKING	219
POND PARKING	0
ADMINISTRATION PARKING	160
SOUTH PARKING	137
(3.3 space / 1,000 sf) EXISTING PARKING	434

ACRE SUMMARY

(NOT INCLUDING FOXMAN FOOTPRINT) MAIN LOT	5.1
POND PARKING	-
ADMINISTRATION LOT	3.7
SOUTH LOT	1.9
SUBTOTAL	10.7
INSURANCE BUILDING LOT	0.21
NORTH LOT	2.8
CLOSING DOWN PALMETTO AVE	0.63
TOTAL	14.3

06.30.2017 **Dewberry**
VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS



OPTION 1-C

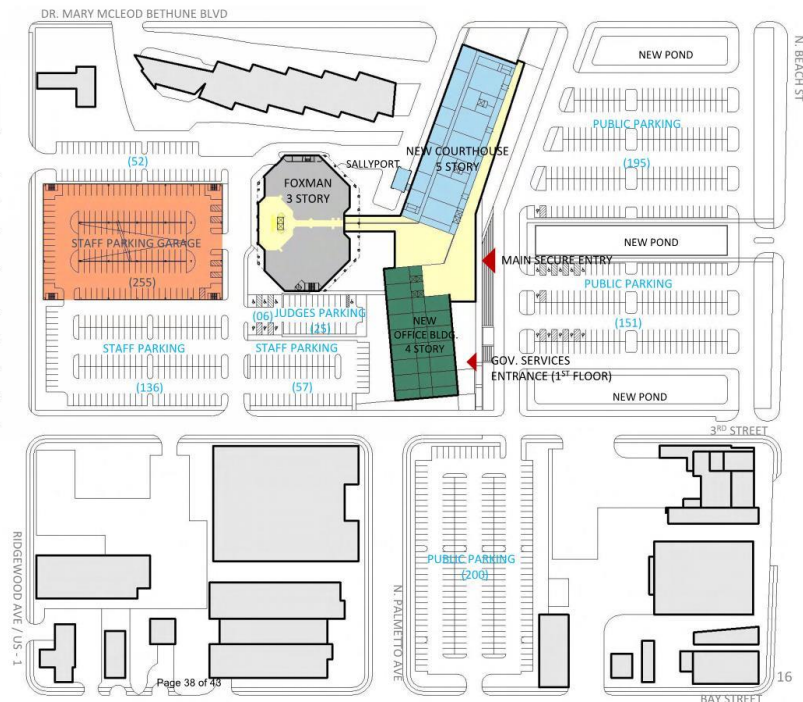
NEW COURTHOUSE ADDITION 5 STORIES	S.J. FOXMAN 3 STORIES
11 Courtrooms 6 Hearing rooms 16 Chambers	3 Courtrooms 2 Hearing rooms 6 Chambers (Family)
Clerk of the Court	Clerk of the Court (family)
Jury Assembly	Law Library
Drug Court Support / pretrial / UA	Case management / Self Help / General Magistrate / Teen Court
Court IT / Digital Court Reporting / Interpreter Services	Courts Administration
Sheriff (shared staff)	Public Defender (Juvenile)
Sheriff / Holding	Public Defender Appeals
	Guardian Ad Litem
	Holding (existing juvenile)
116,221 DGSF 156,898 BGSF	55,974 DGSF 85,722 BGSF

NEW OFFICE ADDITION 4 STORIES
State Attorney
Public Defender
Other Government Agencies (~20,900 bgsf)
73,213 DGSF 83,676 BGSF

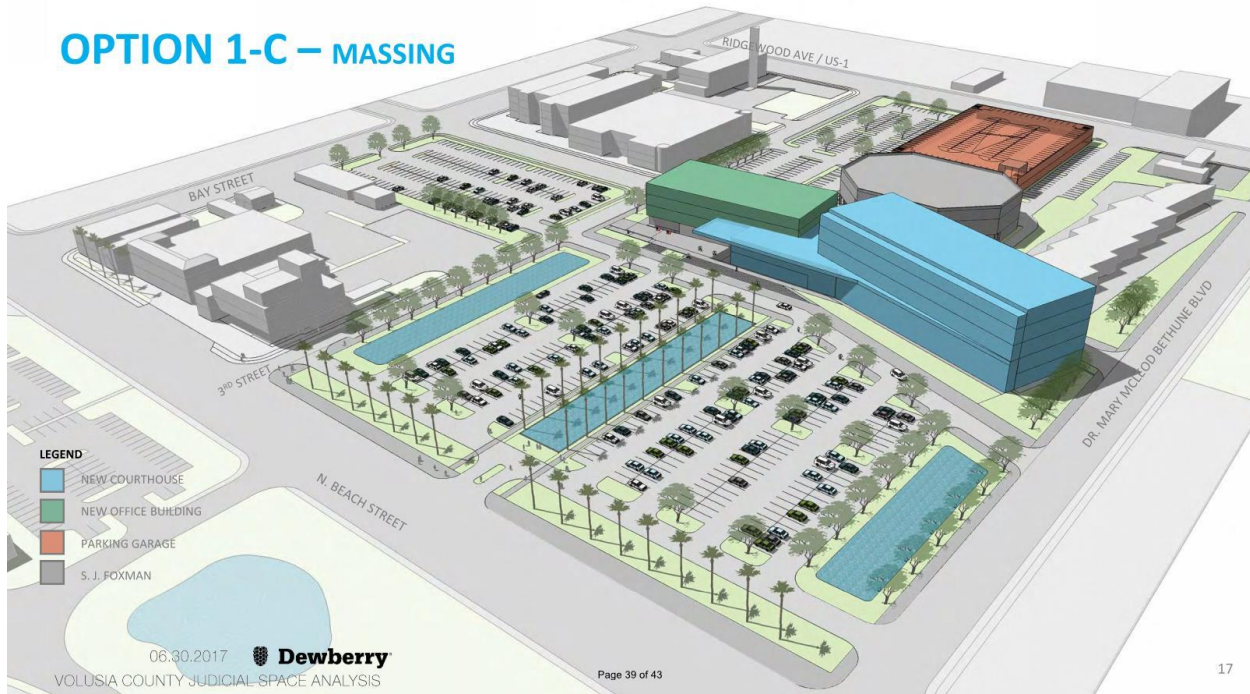
ACRES : 14.3

PARKING : 1,077

06.30.2017 **Dewberry**
VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS



OPTION 1-C – MASSING



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17

EXISTING COUNTY PROPERTY

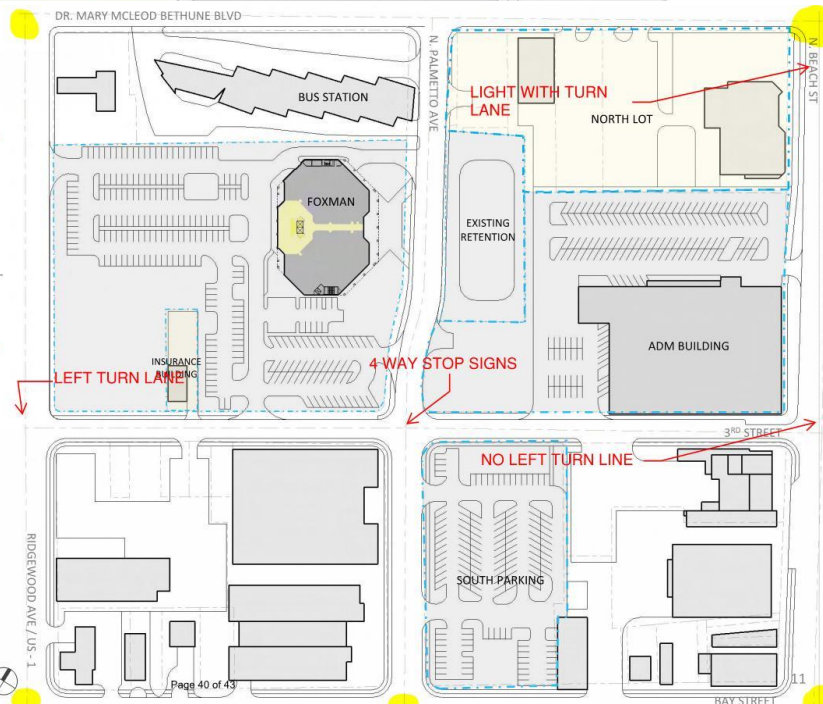
PARKING SUMMARY

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TOTAL	14.3

06.30.2017 **Dewberry**
VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS



Page 40 of 43

ABBREVIATIONS

ABBREVIATIONS USED IN ESTIMATE

@	at	exp	expansion	pi	pipe
ac	air condition; air conditioning	ext	exterior	pt	paint
act	acoustical ceiling tile	extl	external	ptd	paper towel dispenser
ahu	air handling unit	extg	existing	ptn	partition
alt	alternate	fa	fire alarm	pvc	polyvinyl chloride
alum	aluminum	f/o	furnish only	qt	quarry tile
al	allowance	fdn	foundation	qty	quantity
amp	ampere	flr	floor, flooring	rcp	reinforced concrete pipe
apt	apartment	fp	fire protection	recept	receptacle
ats	automatic transfer switch	fr	frame	reg	regular
avg	average	ftg	footing	reinf	reinforcement
b/fill	backfill	fwk	formwork	rpz	reduced pressure backflow preventer
bf	board feet	galv	galvanized	r/r	restroom
bhs	baggage handling system	gfc	ground fault circuit interrupter	rsr	riser
bitum	bituminous; bitumen	gl	glass	rom	rough order of magnitude
bldg	building	gnd	ground	sa	supply air
bkr	breaker	grp	group	sf	square feet
blk	block	grs	galvanized rigid steel	sgl	single
bm	beam	gwb	gypsum wallboard	sog	slab on grade
bo	bottom	h/c	handicap	somd	slab on metal deck
brg	bearing	hb	hose bib	sprk	sprinkler
brkr	circuit breaker	hd	head	ss	stainless steel
brk	brick	hdwr	hardware	stl	steel
calc	calculated	horiz	horizontal	struct	structure; structural
cap	capacity	hgt	height	surf	surface
ccc	central control center	hm	hollow metal	susp	suspended
cctv	closed circuit television	hvac	heating, ventilating and air conditioning	tb	terminal block
cem	cement	hyd	hydraulic	thk	thick
cf	cubic feet	ig	isolated ground	toil	toilet
ci	cast iron	i/o	install only	uon	unless otherwise noted
cip	cast in place	incl	include; including	ur	urinal
circ	circuit	inst	install; installation	vav	variable air volume unit
cmp	corrugated metal piping	insul	insulation	vct	vinyl composition tile
cmu	concrete masonry unit	int	interior	vert	vertical
col	column	intl	internal	vfd	variable frequency drive
conc	concrete	lab	laboratory	vin	vinyl
cpt	carpet	lav	lavatory	vwc	vinyl wall covering
ct	ceramic tile	loc	location	wc	water closet
dbl	double	mcc	motor control center	wd	wood
ddc	direct digital controls	mdp	main distribution panel	wdw	window
dia	diameter	med	medium	wwf	welded wire fabric
dip	ductile iron pipe	mes	mitered end section	thwn-thn	nylon insulated wire
disp	disposal	misc	miscellaneous	tot	total
dispen	dispenser	mlf	thousand linear feet	tvss	transient voltage surge suppression
dr	door	mtd	mounted	vert	vertical
ea	each	mtl	metal	vlf	vertical linear foot
edh	electric duct heater	mult	multiply	w/	with
ef	exhaust fan	nema	national electrical manufacturer's association	wh	water heater
eifs	exterior insulation finish system	nf	non fused	wp	weather proof
el	elevation	nhci	no hub cast iron	xp	explosion proof
elev	elevator	oau	outside air unit		
emt	electric metallic tubing	oc	on center		
epdm	ethylene propylene diene monomer (M-class) rubber	opng	opening		
est	estimate(d); estimator	orn	ornamental		
ewc	electric water cooler	ovhd	overhead		
exc	excavation	ph	phase		

(407) 293-4168

CMI

REPRESENTATIVE PROJECTS

Accommodation

Hyatt Hotel Renovation; Shades of Green Hotel
600 Biscayne Bay; Modello

Assembly

Most Precious Blood Catholic Church
St. Isaac Jogues Catholic Church
Orange County Convention Center – Phases I ~ V
Palm Beach Convention Center

Aviation

Orlando International Airport
Tampa International Airport
Miami International Airport
Southwest Florida International Airport
Fort Lauderdale-Hollywood International Airport
Palm Beach County Airport
Jacksonville International Airport
Newark Liberty International Airport, NJ
Asheville Regional Airport, NC
Indianapolis International Airport, IN
San Diego International Airport, CA
San Francisco International Airport, CA
Louisville International Airport, KY

Disaster / Emergency

GOAA Hurricane Charley Clean Up
GOAA Hurricane Rehabilitation & Restoration
Seminole State College Hurricane Repairs
Krome Processing Center Hurricane Damages
Orange County Hazard Mitigation Grant Program

Educational (K-12)

Orange County Public School
Miami-Dade County Public Schools
Seminole County Public School
St. Lucie County Public Schools
Volusia County Schools

Educational (Colleges & Universities)

Rollins College
IRCC / FAU Joint Use Facility
SCC / UCF Joint Use Facility
Seminole Community College
Valencia Community College
Florida Agricultural & Mechanical University
Florida International University
University of Central Florida
University of Florida
University of Miami
University of South Florida

Entertainment

Carver Theater
Daytona Intl. Speedway - Expanded Visitors Center
Disney's Magic Kingdom Parade Storage Building
Dr. P. Phillips Performing Arts Center
Universal Studios Expansion
Walt Disney World

Facilities Improvement

Animal Services Building – Orange County
Amory SRT HVAC & Space Renovation – Orange County
IOC HVAC Upgrade – Orange County
Admin Center Power & Emergency Power Upgrade – Orange County
Fire Alarm System Upgrade – Orange County Courthouse
Facilities Assessment – Orange County Convention Center
Roof Replacement – Orange County Convention Center
West Bldg. Fire Alarm Upgrade – Orange County Convention Center
Building 830 Facility Improvement – Orlando Int'l Airport
OOC HVAC & Generator Upgrade – City of Orlando

Contact: gj@cminc.biz

Tel: 407-293-4168

Healthcare

Boca Raton Community Hospital
Central Florida Blood Bank
Health Central Hospital Cancer Center
Hillsborough County Medical Examiners Facility
North Broward Hospital District Master Plan
VA Hospital Miami Renovation of ER, Urology & Mental Health
University of Miami, JMH Campus Clinical Research Building

Infrastructure

Dames Point Marine Terminal
Oakland Park – Phases 1A & 1B
SFWMD Lakeside Ranch Stormwater Treatment Areas

Judicial

Alachua County Courthouse
Charlotte Federal Courthouse, NC
Duval County Courthouse
Ft. Pierce Federal Courthouse
Jacksonville Federal Courthouse
Lake County Judicial Center
Okaloosa County Courthouse
Orange County Courthouse; Orange County Juvenile Justice Center
Orange County Intake, Release, Medical/Mental Health & Housing
Seminole County Courthouse

LEED & Sustainability

Alachua County Court Support Services
Newark Liberty International Airport - Terminal A, NJ
University of Florida – Graduate Studies Building (Hough Hall)

Parking Garages

Seminole Community College; VA Hospital, Gainesville
Lake County Judicial Center; University of Miami

Parks and Recreation

City of Kissimmee - Lakefront Park
City of Orlando - Eagle Nest Park
Orange County - Dr. Phillips Community Park
Orange County Parks - Little Eon Greenway Ph 2
City of S. Miami - Murray Park Multipurpose Center
St. Lucie County - Skateboard Park
Streetscape – Events Center

Public Safety

Public Safety Building - City of Stuart
Call Center - Orange County
Sheriff Central Complex - Orange County
Fire Stations - Orange County
EOC Buildings - Sarasota County
Center for Public Safety & Forensic Science – UCF
Public Safety Building - Valencia Community College

Special Services (Auditing, Claims, etc.)

Metropolis Phases 1 & 2 ; 900 Biscayne Bay
Quantum on The Bay ; The Radius; Pero Farms; Arctcity
Lake County Judicial Complex (GMP Analysis)
Palm Beach County- Solid Waste Transfer Facility
University of Central Florida - Engineering Building III

Transportation

Oak Street Widening – City of Kissimmee
Florida High Speed Rail
Florida Turnpike Enterprise – Toll Plazas
Fourth Runway Program – Orlando International Airport

US Armed Forces, etc.

Camp Blanding Ammunition Supply Point, FL
Fort Sill Commissary, OK
New Orleans NAS-JRB-DECA and Navy Exchange, LA
Randall Hall Michie Stadium Athletic Complex, NY
West Point Rugby Training & Sports Complex, NY

Website: www.cminc.biz

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07 APPENDICES – F- WORKSHOP MEETING MINUTES

WORKSHOP 1 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 1 MEETING MINUTES

Date: March 3, 2017

Time: 1:00 -4:00pm

Location: James S. Foxman Justice Center, Courtroom #1

Purpose: Workshop 1

Attachments: **Included-** Attendance sign-in sheet

Attachment 1- Meeting Presentation

Attachment 2- Schedule

Attachment 3 – Workshop sketches and notation

In Attendance

See last sheet.

Summary of Discussion

A workshop was held at the James S. Foxman Justice Center, 1st floor courtroom to present the summary of the existing building assessment, initial findings of the current court system relative to the operational spaces, and draft forecast of needs.

The following was discussed:

1. Introductions:

- a. Attendees introduced themselves, including dewberry analysis and assessment team.

2. Power point presentation (see attachment 1):

- a. Michael LeBoeuf began the presentation slides and briefly described the overview of the scope of the study.
- b. The project schedule was presented to refresh everyone on the study timeline. The next workshop will be on March 28th, 2017. Judge Perkins asked for the schedule to be sent out for everyone. (see attachment 2)
- c. **The following information is in-process as we receive more information from the users, courts and County over the course of the subsequent workshops. Therefore this information should not be seen as finalized.**
- d. The Dewberry assessment team toured and assessed each county building related to the courts system in Volusia County.
 - i. The assessment includes 10 buildings at 9 locations, which identified which departments were located in each building.
 - ii. Litigation spaces were categorized and inventoried into space types based on size and function. A general assessment was done to evaluate if those litigation spaces met a series of guidelines to deem it satisfactory to use as-is, or if it was

WORKSHOP 1 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 1 MEETING MINUTES

not satisfactory and needs to be upgraded or replaced. Non-satisfactory spaces are indicated in brackets [] in the litigation inventory.

- iii. The analysis of the building was not extensive on a room-by-room basis, but was a general evaluation of the buildings based on a scoring of 86 criteria in 3 main categories. These overall categories are Site Components, Courts/Office Functionality, and Building Quality.
- iv. The scoring was an A through F scale, with A being the highest, and F being the lowest. Each applicable criteria was scored, and then averaged to arrive at an overall score for each category for each building.
- v. Mr. LeBoeuf reviewed each of the 10 buildings and explained the detail for their overall scoring. He identified both strengths and weakness of each building that resulted in that score.
- vi. Each building that had litigation spaces tabulated and totaled the number of litigations spaces for each location and city.
- vii. The county has clearly taken care of their buildings, so many of the lower scores are the result of operational deficiencies.
 - 1. The most sufficient buildings are the Volusia County Courthouse in Deland and the Foxman Justice Center. Which are the most recently built buildings.
 - 2. Buildings that are somewhat deficient are the Historic Courthouse (limited use), the County Jail, 440 Beach Street, and 444 Seabreeze.
 - 3. The most Deficient and/or non-satisfactory buildings are City Island, the trailers at Volusia Jail, Daytona Beach Administration, 442 Beach Street, and New Smyrna Beach Courthouse.
- e. Meg Bower reviewed and presented the initial findings of the existing and future needs of the Volusia County courts litigation spaces. Current and future space needs of court related departments is still under evaluation, as user interviews occurred in the days leading to this workshop.
- f. Goal of the needs included the following:
 - i. To ensure sufficient litigation spaces are provided to meet an uncertain future.
 - ii. To ensure the types of litigation spaces are suitable for the caseload anticipated.
 - iii. To specify, as much as possible, the locations where need is anticipated.
- g. Meg Bower reviewed our understanding of the way the County and Circuit courts allocate case filings to judges, and the locations where those cases types occur now.
- h. Brief overview of the supply (count) of suitable and non-suitable spaces existing.
- i. Explanation of future demand that influence litigation space utilization.
 - i. Litigation Spaces Available.
 - ii. Litigation Space that matches casetype
 - iii. Litigation time per case.
 - iv. Litigation Space Utilization.
- j. On-bench (litigation time) and off-bench time are balanced in 2016 and were used to estimate future full-time courtroom utilization at 6 hrs per litigation space/day.

WORKSHOP 1 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 1 MEETING MINUTES

- k. Caseload has neither clearly increased nor clearly decreased over the past decade; rather, it has fluctuated up and down by case type and by year. Some fluctuation was as great as 25% (upward from the median). Some fluctuation was minimal from year to year, fairly steady over the past 10 years.
- l. As no overt trending is evident, Planning Benchmarks will be used in lieu of trend forecasts. The planning benchmarks will be based on the litigation spaces required to meet the demand of median filings per caseload type over the past decade, with some adjustment to remove outlier data from the peak of the recession (primarily civil caseload).
- m. A flexibility element will be included to provide for anticipated future growth by a) calculating the combined peaking for all filings over the period 2005-2015 and including that need as “flex/future” needs and b) incorporating flexibility of space utilization in the long-range building solutions to meet demand.
- n. The solution to litigation space issues in Volusia County is
 - i. Matching litigation activity with correctly designed space
 - ii. Providing sufficient litigation spaces by space type to meet future fluctuations in caseload.

3. Workshop Discussion

- a. Question was asked if we were looking at needs of all the courts departments.
 - i. Yes, interviews with the departments were just conducted days prior to the workshop after the user surveys were completed. This data combined with the on-going analysis of the existing department areas will help us determine the needs for all groups at the next workshop.
- b. Information was given on why New Smyrna Beach Courthouse exists. It was made out of a need for space, but isn't efficient because of its detachment from any other court buildings. Some of the judges extra time could be utilized if it was combined in Daytona Beach.
- c. Information was given that there is one additional chamber in the Foxman courthouse that is used for visiting judges.
- d. Michael LeBoeuf and Jim Beight directed the group to openly think and discuss potential opportunities for the future of the Volusia County courts, including but not limited to the following parameters (in no particular order).
 - i. Operational Efficiency of the Courts
 - ii. Simplification of the number of Buildings
 - iii. Future Growth
 - iv. Resolving non-satisfactory spaces or facilities
 - v. Level of public service
- e. Operational Concepts:
 - i. **“1 Courthouse in Daytona and 1 Courthouse in Deland”** (2 consolidated courthouses)
 - 1. Will improve efficiency and vacate non-satisfactory spaces.

WORKSHOP 1 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 1 MEETING MINUTES

2. Consolidated the East county court facilities.
 3. Could be one building or multiple buildings on one campus.
 4. “One-stop-shop” service
 5. Deland courthouse would be the existing Volusia County Courthouse. Daytona Beach courthouse could be a new location or addition/new building at City Island.
 6. SA & PD would prefer to be under one roof with the courts for efficiency.
- ii. **“1 Consolidated Volusia Courts”**
1. Would abandon all existing facilities.
 2. Could be located off of a major road or highway. Easier access to not drive into downtown.
 3. Although centralized, it would be inconvenient for everyone due to the population being on the far east and far west of the county.
 4. Moving the courthouse out of town centers could be seen as a negative economic impact to those areas.
- iii. **“Criminal Courts at the Jail”**
1. Was discussed in previous years, but was an unpopular concept.
 2. Most of County Court Misdemeanor and Circuit Felony cases involve people that are not in jail, so the Jail site would be inconvenient for many of the public and staff.
 3. Does not have public transportation.
- iv. **“Unified Family Courts”** for the whole county.
1. Leaves only a few Civil courts in Daytona/City Island (good or bad on efficiency?). Could be creating inefficiency.
 2. Criminal cases would still have to be separated by East and West.
 3. Seems to create overall inefficiencies.
- v. **“Make Existing Foxman Courthouse a Family Courthouse & Add a new criminal addition”**
1. Could be a possibility.
 2. Single facility with combined entry is good.
 3. Has the public transpiration bus hub on the same campus.
- vi. **“East County Consolidated Courthouse outside of Daytona Beach”**
1. Could be located off of a major road or highway. Easier access to not drive into downtown Daytona.
 2. Moving the courthouse out of Daytona Beach could be seen as a negative economic impact to Daytona, but could drive economy in the new location.
- f. Additional Notes made:

WORKSHOP 1 – MEETING MINUTES

**VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 1 MEETING MINUTES**

- i. The State Attorney and Public Defender prefer to be in the courts building if combined.
- ii. Is it possible to leave City Island completely? Complications with the deeding of City Island could be an issue with future sale or change in use. Judge Perkins would look into the issue.
- iii. County departments in the Daytona Beach Admin building (Old Sears building) could be use as back-fill for the renovated City Island building in a future phase.
- iv. Video First-appearance is being utilized now to help reduce in-custody transport.
- v. The courts and sheriff are looking at the potential use of Video Arraignment in the future.
- vi. The Public Defender Appellate division could move into the renovated City Island in a future phase to vacate the leased space in the Seabreeze building.
- vii. In any scenario, a new building could drive economic development for that area.

4. End of Meeting

We believe the foregoing record to be an accurate summary of the meeting and related decisions. We would appreciate notification of exceptions or corrections to these Minutes within five (5) days of receipt. Without notification, we will consider these minutes to be a record of fact.

Copied:

George Baker
Kevin Kane
Mark Weinberg
Chief Judge Terence Perkins
Jennifer Bagshaw
Shirley Holland
Eric Westfall
Debbie Ruegger
Shannon Dibella
Joanne Barnett
Deb Patterson
Jim Beight
Michael LeBoeuf
Meg Bower

Sincerely,

Chris Getz, AIA
Project Manager
Dewberry

WORKSHOP 1 – MEETING MINUTES



Calculation Sheet

3.3.2017

Designer _____ Date _____ Checker _____ Date _____
 Title _____ Job No. _____
 Subject VOLUSIA COURTS WORKSHOP I Sheet No. _____ of _____

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EDIETRICH@UCSO

BRYAN BARNARD

SHERIFF'S OFFICE

BBARNARD@UCSO.US

WORKSHOP 2 – MEETING MINUTES

**VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 2 - MEETING MINUTES**

Date: April 06, 2017

Time: 1:30-4:30

Location: S. James Foxman Justice Center, Courtroom # 2

Purpose: Workshop 2

Attachments: Included – Attendance sign in sheet

Attachment 1 – Workshop 2 presentation

Attachment 2 – Workshop 2 notations

In Attendance

See last sheet.

Summary of Discussion

Workshop 2 was held at the S. James Foxman Justice Center, 2nd floor courtroom # 2 to present the summary of the program, the operational options and the schedule update and to come to a consensus on three options to move forward with.

1. Introduction:

- a. Jim Beight introduced the Dewberry team that was in attendance at the meeting and gave a recap of the goals for Workshop 2. Jim Beight stated to the group, if they had any question at any time to please feel free and ask.

2. Power point presentation:

- a. Michael LeBoeuf led the Workshop 2 presentation and began with the Agenda for the meeting.
- b. The presentation began with the explanation of East and West County Litigation to Chambers ratios. He explained that Dewberry looked at the existing litigation/chambers ratio and explained how it related to the litigation and chambers ratio being proposed.
- c. Workshop 2 will focus on the East County due to its complexity and will come back with West County at the next workshop.
- d. An explanation was given of how the surveys and interviews lead to a detailed program of the right size spaces and operational needs for each department.
- e. Terminology was explained to help the group understand the differences of
 - i. Net sq. ft.
 - ii. Department gross sq. ft
 - iii. Building gross sq. ft.
- f. A program summary for West County and East County was presented to the group. More attention was given to the East County and Michael LeBoeuf pointed out how a few programs raised significantly. He explained that this is due to the correct size litigation spaces and operational functions needed for efficiency.

WORKSHOP 2 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 2 - MEETING MINUTES

- g. Opportunities for the future of the Volusia County Courts were reviewed to the group which included:
 - i. Operational Efficiency of the Courts
 - ii. Simplification of the number of Buildings
 - iii. Future Growth
 - iv. Resolving non-satisfactory spaces or facilities
 - v. Level of public service
- h. 6 Operational Concepts – East County was introduced to the group (Not a ranking summary but an organizational summary) Each option summarizes the court and office function locations, dgsf of new additions and renovations of each building option, number of litigation and chambers and pros and cons for each. (*All of which are documented in the Workshop 2 – presentation, see attachment 1*) The operational concepts are as followed:
 - i. **Option 1 – New Courts addition to S. J. Foxman + reuse S.J. Foxman – Family**
 - 1. Site plan is shown to indicate how the building may layout on the site.
 - a. Question asked: *How many stories is option 1?*
 - i. Michael LeBoeuf explains that it can range from 3-5 or taller depending on the site layout. He concluded that once options are selected, we will come back with more detail at the next workshop.
 - ii. **Option 2 – New Courts addition to S.J. Foxman + reuse S.J. Foxman – Family + Reuse City Island – office**
 - a. The group commented that a con to this option will be extreme travel time and distance for Public Defender.
 - b. Impact to the public service: clients will have to travel to multiple locations
 - iii. **Option 3 – New courts addition to S.J. Foxman + Reuse S.J. Foxman – Family + Reuse City Island – Civil**
 - 1. Smallest building in bgsf.
 - a. Comment: Judge Perkins comments that Pros & Cons will be helpful if it was a grading / scoring system
 - i. Michael LeBoeuf clarified that in the upcoming workshop this will be done. An agreement that a scoring system will be done for the following workshop.
 - iv. **Option 4 – New courts addition to City Island + S.J Foxman - Criminal**
 - 1. Due to constraints of site parking garage will be needed.
 - a. Question asked: Does option fit on site? A site plan of how building might be located on site was presented
 - b. Question asked: Is there any covenants or deeds to the City Island site?

WORKSHOP 2 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 2 - MEETING MINUTES

- i. Further research will be to done to determine this question. Kevin Kane was looking into this but has not come to a solid conclusion.
 - v. **Option 5 – Consolidated Criminal Courts at jail / Office space + S.J. Foxman – Family/Civil/ Traffic**
 - 1. East and West Criminal courts with related agencies at the jail site.
 - a. Question asked: Does option 5 bring everyone related to criminal courts to the jail site including West County? Yes. Michael LeBoeuf explained that this option frees up space at the DeLand Courthouse and provides space for growth.
 - vi. **Option 6 – Single New Courthouse in East County / site to be determined**
 - 1. Single new courthouse that does not necessarily need to be one building, as an example, courthouse as one building and office building as another building.
 - a. Question asked: Does option 6 discontinue West County? No, option 6 is a consolidation of all east county functions.
 - i. Options cost comparison was presented. Range of base cost, low and high.
 - j. A 10 minute break was given after Michael LeBoeuf finished the workshop 2 power point presentation.
- 3. **Workshop Discussion:**
 - a. The workshop resumed with the group discussing the operational options. Michael LeBoeuf directed the group to openly think and discuss the six operational options.
 - b. **As a group the consensus of deleting operational options 4 and 5 was quickly agreed to.**
 - i. **Option 4 Comments:**
 - 1. Appeared to mimic the operational model they currently have.
 - 2. Constraints of the site did not seem pleasing to the group.
 - 3. Sheriff had staffing concerns which related to securing two areas, Foxman and City Island.
 - ii. **Option 5 Comments:**
 - 1. Does not seem to improve the operational model. Splits the courts operations into three county wide locations.
 - c. **The group came to a consensus that operational options 1 & 6 will be kept.**
 - i. **Option 1 & 6 comments:**
 - 1. Keeping option 6 in will show cost of an all new facility to bracket the options.
 - 2. Option 6 will be a true consolidation and the group was keen on the idea of all litigations in one building as an efficient operational model.
 - 3. Keeping option 1 will show cost of a consolidated option at a possibly lower cost than option 6.

WORKSHOP 2 – MEETING MINUTES

**VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 2 - MEETING MINUTES****d. Further discussion was given to the following operational options 2 and 3.****i. Option 2 & 3 Comments:**

1. Option 3 – The group had security concerns with some courts agencies remaining in the City Island. Michael LeBoeuf reassured that security will be addressed.
2. Option 3 – Public Defender was not keen on being in a separate location away from litigations spaces due to travel concerns, productivity and operational efficiency.
3. Option 3- too similar to what they have now.
4. Option 3- Splits the courts operations into three county wide locations.
5. Option 2 – Big compromise. Public defender prefer to be in new addition as well as state attorney homicide.
6. Option 2 & 3 – the group had flexibility concerns with operations being split.

e. Groups additional notes:

- i. How will the group determine how these options are presented, moving forward?
- ii. How will the options be presented that will accurately represent the consensus of the users.
- iii. Check backfill/offset costs for existing buildings (Foxman, City Island)
- iv. Identify "soft costs" for all options (land acquisition / site cost, etc.)
- v. Option 6 – Highlight the use of county property and surface parking
- vi. Options 3,4 & 5 do not really improve existing operations (split court)
- vii. Option 6- Can this option be presented with mitigation cost options such as:
 1. Use of county property
 2. Sale properties
 3. Keep cost down by not building parking garage

WORKSHOP 2 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 2 - MEETING MINUTES

4. End of Meeting:

- a. Project schedule was presented to indicate that as of Workshop 2 the schedule was about one week behind.
- b. The main goal for workshop 2 was to come to a consensus on three options that can be further studied and developed. As a group the three options that were agreed to are the following:
 - i. **Option 1** - New Courts addition to S. J. Foxman + reuse S.J. Foxman – Family
 - 1. As presented
 - ii. **Option 2** - New Courts addition to S.J. Foxman + reuse S.J. Foxman – Family + Reuse City Island – office
 - 1. We have been directed to include the PD and State Attorney- Homicide (sans PD Appeals) in S.J. Foxman addition. The team will study this modification.
 - iii. **Option 6** - Single New Courthouse in East County / site to be determined
 - 1. Parking garage will be included in cost options
 - 2. Possibility of property to be purchased will be included in cost options
- c. Dewberry will have further development of the three options (options 1, 2, 6) in the next workshop which will be tentatively scheduled for the second week of May 2017.

We believe the foregoing record to be an accurate summary of the meeting and related decisions. We would appreciate notification of exceptions or corrections to these Minutes within five (5) days of receipt. Without notification, we will consider these minutes to be a record of fact.

Copied:

Kevin Kane
Mark Weinberg
Terence Perkins
Joanne Barnett
Laura Roth
Shannon DiBella
Jim Beight
Michael LeBoeuf
Chris Getz
Meg Bower

Sincerely,

Omayra Diaz
Dewberry

WORKSHOP 2 – MEETING MINUTES


 VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS
 WORKSHOP II | 04-06-2017

Sign-In Sheet

Name	✓	Organization	Phone	Email
Terence Perkins	✓	Chief Judge		tperkins@circuit7.org
Belle Schumann		County Court Judge		
Ted Richard		VCSO		
Mike Odgees		VCSO		
Paul Adkins		VCSO		
Eric Westfall		VCSO		
Noel Griffin		State Attorney Office		
Melissa Clark	✓	State Attorney Office		
Joanne Barnett		State Attorney Office		
Heather Post		Volusia County Council		
Debbie Ruegger		Clerk of the Courts office		
Laura Roth	✓	Clerk of the Court	736-5904	laura@clerk.org
Kathleen Moore		JCS Probation		
Mark Weinberg	✓	Court Administration		
Greg Ledet		Volusia County IT		
Suzanne Reinhardt		Volusia County IT		
Tony Landry		Clerk of the Court office IT		
David Isaacson		Clerk of the Court office IT		
Mark Flowers		Corrections		
Randa Matusiak		Corrections		
Shirley Olson		Court Admin		
Craig Dyer		Public Defender		
George Baker		County of Volusia		
José Alvarez		County of Volusia - Facilities	386-242-7272	j.alvarez@volusia.org
KEVIN KRANE		VOL. CO. FACILITIES	386-248-1760	KRANE@VOLUSIA.ORG

WORKSHOP 2 – MEETING MINUTES


 VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS
 WORKSHOP II | 04-06-2017

JOSEPH MASTROPIERRO	LAW LIBRARY	386- 257-6041	J.MASTROPIERRO@CLERK.ORG
Antonio Jaimés	clerk of court	(386) 822-5067	ajaimes@clerk.org
Chris Keny	County Judge	386 257-6033	CKelly@ircuit7.org
JoAnne Barnett	SAD	(386) 239-7710	BARNETTJ@SAD7.ORG
Name	Organization	Phone	Email
Melissa Clark	SAD	386 239-7710	clarkm@sad7.org
Eric Dietrich	VCSO	386- 804-8537	EDIETRICH@VCSO.US
Bryan Barnard	VCSO	386-804 8552	B.BARNARD@VCSO.US
Lauren Kinsey	GAL	386 235-2294	Lauren.Kinsey@gal.fl.gov
Mark Weinberg	Ct. Admin.	386 257-6097	mweinberg@ircuit7.org
James S. Perry	Public Defender	386 239-7730	JPerry@pd7.org
Shannon Dibella	Public Defender	386- 239-7730	dibella.shannon@pd7.org
Robert Ryan	Public Defender	386 239-7730	Ryan.Bob@pd7.org
Chris Getz	Dewberry	321 354-9767	cgetz@dewberry.com
JIM BEIGHT	Dewberry	408 908-9052	jbeight@dewberry.com
David Foxman	County Judge	386-257- 6033	dFoxman@ircuit7.org
OMAYRA DIAZ	Dewberry		odiaz@dewberry.com

WORKSHOP 3 – MEETING MINUTES

**VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 3 - MEETING MINUTES**

Date: June 30, 2017

Time: 10:00-11:15

Location: Volusia County Courthouse, DeLand, FL, Courtroom # 1

Purpose: Workshop 3

Attachments: Included – Attendance sign in sheet

Attachment 1 – Workshop 3 presentation

In Attendance

See last sheet.

Summary of Discussion

Workshop 3 was held at the Volusia County Courthouse, 1st floor courtroom # 1 to present the options and to come to a consensus on the future of the courts judicial system consolidation.

1. Introduction:

- a. County Manager Jim Dinnen –Explained the important of the court system, and excitement about the possibly of consolidating the court system and other agencies.
- b. Jim Beight introduced the Dewberry team that was in attendance at the meeting.
- c. Chris Getz gave the presentation.

2. Power point presentation:

- a. Chris Getz explained that the program has not change from the previous workshop 2 meeting. The program summary of East Volusia County was reviewed.
- b. Consolidation opportunities where emphasized for the future of the Volusia County Courts system and reflect the needs of the project which are as follows:
 - i. Courts consolidation to one courthouse campus
 1. All agencies within one campus
 2. Single secure entry for weapons screening (efficiency of security staff)
 3. Inmate delivery to one location in Daytona
 - ii. Utilize existing assets & future growth on county property
 - iii. Increase operational efficiency of the courts
 1. Co – location of associated court & government services
 - iv. Separation of public, staff and in-custody circulation
 - v. Increase level of public service & wayfinding
 - vi. Proximity to public transportation

WORKSHOP 3 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 3 - MEETING MINUTES

- c. A review of the six operational options that were presented in workshop 2 were shown, this was to discuss how the group went from studying six Operational Options to selecting three operational options.
 - 1. Please see **attachment-1** for further understanding of options selected
- d. Chris Getz explained how the Dewberry team studied the selected 3 Operational Options but ultimately moved into the most effective Operational Option:
 - i. **Operational option 1- New Courts addition to S. J. Foxman + reuse S.J. Foxman – Family**
 - 1. **Three site options were derived from Operational option 1.**
- e. Terminology was explained to refresh the group on the differences of:
 - i. Net square feet
 - ii. Department gross square foot
 - iii. Building gross square foot
- f. The department program breakdown was presented to show the group how the departments can deploy into three massing components:
 - i. Existing courthouse : 3 story building
 - ii. New courthouse: 5 stories
 - iii. New office: 4 stories
 - 1. Please see **attachment-1** for further understanding of department locations.
- g. Chris Getz explained the S. J. Foxman site opportunities:
 - i. Two ways of studying the site:
 - 1. Expansion to east or west of S. J. Foxman
 - 2. Palmetto Ave can be closed down to expand to the west of S. J. Foxman
 - ii. County Manager Jim Dinnen – explained how S.J. Foxman site has the most potential for the judicial courts system creating a monumental building and future needs of the courts system.
- h. Chris Getz goes onto explain the three site options:
 - i. All three options have a similar building massing, new courthouse, existing courthouse, new office
 - ii. **Option 1-A**
 - 1. Option 1-A creates a secure entry into the new courthouse which allows the user to circulate to the new office or the existing S. J. Foxman building.
 - 2. Staff parking reconfigured along Ridgewood Ave and public parking along N Beach Street which meeting the parking requirements.
 - 3. Public face will be along N. Beach Street.
 - 4. Public corridor connection to S. J. Foxman.

WORKSHOP 3 – MEETING MINUTES



VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 3 - MEETING MINUTES

5. Chris Getz explained that this option can connect the existing sally-port with the new sally-port, thus keeping the new sally-port to the north end and courtrooms to the south of the public corridor connection, creating a circulation issue. A solution could be to create a basement level in-custody transfer corridor.

iii. Option 1-B

1. Option 1-B creates a secure entry between the new office massing and new courthouse massing with a public corridor to the existing S. J. Foxman building.
2. Staff parking reconfigured along Ridgewood Ave and public parking along N Beach Street.
3. The parking needs takes up a large portion of the site which a high paved to un-paved ratio.
4. Building screens the bus station, which will allow walking access to and from bus station; does not disturb public transit system.

iv. Option 1-C

1. Option 1-C creates a secure entry between the new office massing and new courthouse massing with a public corridor to the existing S. J. Foxman building.
 2. Staff parking reconfigured along Ridgewood Ave with a staff parking garage and less public parking along N Beach Street, which creates a softer edge along Beach Street.
 3. Three new ponds evenly distributed along n beach street, and creates a better streetscape and entry into the building.
 4. Building screens the bus station, which will allow walking access to and from bus station; does not disturb public transit system.
- i. Chris Getz explained that for all options the governmental services will be on the first level of the new office with State Attorney and Public Defender on the other three levels.
 - i. Government agencies can have the potential for a separate single entry on the first level and no access into the courts building or upper levels.

3. Groups comments:

- a. It was mentioned if a staff only entry is possible. Yes, the staff can enter through the west side of the S. J. Foxman (which is currently the main entry) or other means in the later developed design.
- b. Sheriff staff in group supports the separation of staff and public entrances.
- c. Security concerns for staff and public was mentioned and voiced as a critical goal.
- d. County Manager Jim Dinnen – Explains the current county assets are not meeting the current times and needs for the courts system:
 - i. As follows: City Island Courthouse Annex, 440&442 buildings, New Smyrna Courthouse Annex, and 250 County Administration

WORKSHOP 3 – MEETING MINUTES

**VOLUSIA COUNTY JUDICIAL ANALYSIS –WORKSHOP 3 - MEETING MINUTES**

- e. Judge Perkins stated that the options main goals are clear, meeting the needs of court system and other supporting agencies.

4. End of Meeting:

- a. The main goal of Workshop 3 was to present the group with three site options based on the most viable Operational Option, that will meets the needs of the courts judicial system and other supporting agencies.
- b. County Manager Jim Dinnen asked the group for a formal letter from all agencies to confirm their support in the preferred option and the consolidation of the courts system and supporting agencies.

We believe the foregoing record to be an accurate summary of the meeting and related decisions. We would appreciate notification of exceptions or corrections to these Minutes within five (5) days of receipt. Without notification, we will consider these minutes to be a record of fact.

Copied:

Kevin Kane
Mark Weinberg
David Cromartie
Joanne Barnett
Terence Perkins

Sincerely,

Omayra Diaz
Dewberry

WORKSHOP 3 – MEETING MINUTES


 VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS
 Workshop 3 ~~MEETING~~ MEETING

Sign-In Sheet

Name	✓	Organization	Phone	Email
Terence Perkins	✓	Chief Judge		
Belle Schumann		County Court Judge		
Ted Richard		VCSO		
Mike Odgees		VCSO		
Paul Adkins		VCSO		
Eric Westfall		VCSO		
Noel Griffin		State Attorney Office		
Melissa Clark		State Attorney Office		
Joanne Barnett	✓	State Attorney Office		
Heather Post		Volusia County Council		
Debbie Ruegger		Clerk of the Courts office		
Laura Roth		Clerk of the Court		
Kathleen Moore		JCS Probation		
Mark Weinberg	✓	Court Administration		
Greg Ledet		Volusia County IT		
Suzanne Reinhardt		Volusia County IT		
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David Isaacson		Clerk of the Court office IT		
Mark Flowers		Corrections		
Randa Matusiak		Corrections		
Shirley Olson		Court Admin		
Craig Dyer		Public Defender		
George Baker		County of Volusia		
José R. Alvarez		C. of Volusia - FINGERES		
Linda Bohannon		State Attorney Office		

Chris Kelly
 Raul Zambrano
 Kevin Kane

County Court Judge
 Cir. Judge
 VCF

David Comarke
 State Att.
 Office

VOLUSIA COUNTY JUDICIAL SPACE ANALYSIS | 1 of 4

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07 APPENDICES – G- COUNTY BUILDINGS EVALUATION SUMMARY

SEE SEPARATE ATTACHMENT FOR BUILDING EVALUATION SUMMARY SHEETS.

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07 APPENDICES – H- SEVENTH JUDICIAL CIRCUIT LETTER



**STATE OF FLORIDA
SEVENTH JUDICIAL CIRCUIT
Flagler, Putnam, St. Johns and Volusia Counties**

July 18, 2017

James T. Dinneen
County Manager
Thomas C. Kelly Administration Center
123 W. Indiana Avenue
DeLand, FL 32720

Dear Mr. Dinneen:

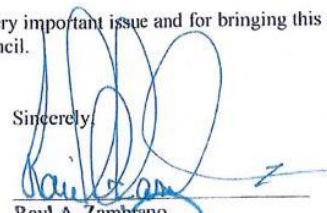
For some time now, the condition and utility of the court facilities and related offices on the east side of Volusia County have been an issue of concern to the undersigned. Of principal concern, of course, is the safety of our citizens and court staff. The City Island Courthouse Annex is particularly problematic in this regard. It was designed and constructed in an era when courthouses provided unrestricted public access and, by design, no facility security. As a result, that facility lacks sufficient space for weapons detection/screening and is devoid of secured parking or rally port for the delivery of inmates. Similarly, it does not have designated corridors to segregate the movement of building occupants. Currently, judges, court staff, law enforcement officers, inmates, litigants and the general public all utilize the same corridors to move about the building. Although the building sits on a beautiful parcel of land overlooking the Halifax River, it is simply not capable of renovation or reasonable expansion. Perhaps more importantly, the building is not configured or designed in such a way to permit reasonable accommodations to address any future needs.

A related problem experienced on the east side of the county is that our court services and programs are fragmented among numerous separate facilities and office buildings. As a consequence, significant efficiencies associated with consolidating operations within a single facility are simply unavailable to us. Undoubtedly, a consolidated operation would permit a better and more efficient use of our space along with a more cost-effective operation.

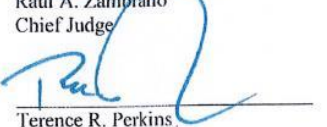
In response to the myriad of issues, the County wisely contracted with Dewberry Architects last year to conduct a comprehensive judicial space analysis. These consultants worked diligently to assess our current facilities. They took great care to consider all aspects of our respective organizations in every facility in which we operate. They met with our staffs and facilitated numerous workshops to gain insight from all affected parties. We recently had the opportunity to review their current recommendation and are delighted to report that it clearly addresses all of our concerns and issues. We wholeheartedly welcome and accept the recommendation that our east side court operations be updated and consolidated into a single complex in the Beach Street area of Daytona Beach.

Thank you for your consideration of this very important issue and for bringing this matter to the attention of the members of the County Council.

Sincerely,



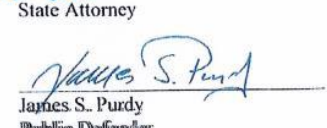
Raul A. Zambrano
Chief Judge



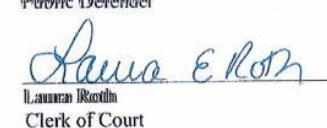
Terence R. Perkins
Circuit Judge



R.J. Larizza
State Attorney



James S. Purdy
Public Defender



Laura E. Roth
Clerk of Court

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VOLUSIA COUNTY



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